

FINAL REPORT

Pembroke Municipal Needs Study

prepared for the

Town of Pembroke



October 2, 2006

CBI / RDA

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TABLE OF CONTENTS

1. Executive Summary

Executive Summary	1-1
Cost Overview of Viable Options	1-13
Civil Evaluation of Option F	1-19
Preferred Development Options Site Plans	

2. Existing Conditions Survey

Architectural / Structural: Municipal Bldg.'s	2-1
Civil: Municipal Bldg.'s Site	2-6
Community Center Building	
Civil / Plumbing / Fire Protection	2-9
HVAC	2-11
Electrical	2-13
Town Hall	
Civil / Plumbing / Fire Protection	2-16
HVAC	2-18
Electrical	2-20
Police Station	
Civil / Plumbing / Fire Protection	2-23
HVAC	2-26
Electrical	2-30
Existing Conditions Site Plan + Floor Plans	

3. Space Needs Projections

Overview of Twenty Year Space Needs	3-1
Town Hall	3-2
Police Department	3-4
Recreation + Community Uses	3-10
Senior Center / Council on Aging	3-12

4. Development Options

Overview of Development Options A.1 – F.3	4-1
Option A.1 Graphics	
Option A.2 Graphics	
Option B Graphics	
Option C Graphics	
Option D Graphics	
Option E.1 Graphics	
Option E.2 Graphics	
Option F.1 Graphics	
Option F.2 Graphics	
Option F.3 Graphics	

EXECUTIVE SUMMARY

EXECUTIVE SUMMARY

This "Municipal Needs Study" involving the town-owned buildings on the town center municipal campus is the result of a commitment by the Town of Pembroke, acting through the Pembroke Community Center Task Force, to evaluate existing conditions in various town departments and to identify options to address both current deficiencies and future needs.

Task:

In the Fall of 2005 the architectural firm of CBI Consultants, Inc., with associated architect Raymond Design Associates, Inc. was retained by the Town of Pembroke to conduct a programmatic and structural analysis feasibility study involving the Pembroke Town Hall, Pembroke Police Department and Pembroke Community Center Building. The CBI/RDA team was charged with the following tasks:

- Examine the current and projected space needs for municipal and police department offices and the suitability of existing facilities to meet those needs.
- Make recommendations as to the feasibility of renovating and expanding the existing municipal and police facilities.
- Make recommendations as to the feasibility of incorporating the community center building as part of a solution to the town's municipal and police department needs.
- Examine the potential for disposing of the community center and/or police department and/or the town hall for some other private-sector use.
- Provide a projection of costs associated with any proposed alternatives.
- Make specific recommendations as to how to best maintain the existing community center building in the interim.
- Compile a report documenting the work of the study.

As the study progressed, the study team was asked to program future space needs for the Counsel on Aging and to incorporate space for this department into the overall long range planning study.

Existing Departmental Layouts:

Study team members visited each of the four buildings under consideration (Town Hall, Police Department, Community Center, and Senior Center) and took measurements to verify the existing configuration of each building, and all of the internal spaces within it. In addition, department heads were interviewed to specifically identify what each space is currently being used for.

The result of this work is a series of floor plan diagrams that accurately depict existing square footages, uses, and adjacencies. These square footage and building layout diagrams can be seen under the 'Existing Conditions' section of this report. These diagrams were used by the study team to assist in departmental needs assessments, programming, conceptual planning diagrams, and project cost estimating.

In addition, the study team was able to document the overall site plan of the Town Center Campus by use of aerial photography and other available documentation. Property line layouts from the Assessor's office and mapping related to wetlands and other regulated resources were overlaid onto the aerial photographs and served to define broad-based limits for the conceptual site planning that followed.

Municipal Space Needs:

An integral component CBI/RDA's assignment was to provide the study committee with twenty-year space needs projections for those municipal departments that might be housed on the Pembroke Center municipal campus. This was accomplished by reviewing various documents provided by the study committee and conducting extensive interviews with administrative staff at the following departments:

- Police Department
- All Town Hall Departments, including DPW
- Recreation Department
- Council on Aging

Library staff was not interviewed as part of this study. The Library facility is fairly new and is sized to meet the town's immediate future needs. Other 'community groups' (i.e. food pantry, Pembroke Youth Hockey, Center Pre-School, etc.) that are currently housed in the Community Center building were not interviewed, however square footages equivalent to the square footage these groups currently use was integrated into our 'Community Use' space needs program for use in the planning process.

Using the 'as-built' plan layouts, study team members met on multiple occasions with administrative staff at each individual department to discuss existing programmatic or square footage shortfalls and to identify future space needs. Discussions covered projected future staffing levels, spaces required to implement the department's mission within the town, adequacy of existing work stations, storage needs, parking needs, degree of interaction with the public, and appropriate departmental adjacencies. Based upon extensive experience in other municipalities, study team members assisted department heads in compiling a 'space needs program' documenting all of the spaces deemed necessary to house their future needs and then assigned square footage figures to these spaces. These programs compared all of the spaces and staffing levels that administrators were dealing with at the present time with those that they were projecting into the future. These future staffing projections and square footage requirements are documented in the detailed 'Space Programs' contained in Section 3 of the report.

Without exception, all of Pembroke's municipal departments will require additional space for administrative, meeting, storage, or programmatic space in the future. Many of the needs are immediate, especially at the Police Department, Council on Aging, and Recreation Department. Though the additional square footage need for Town Hall is not as acute (a significant portion of the projected additional square footage is for meeting space), many individual departments, such as the Board of Health, are in desperate need of additional square footage immediately.

	<u>Existing Dept. SF</u>	<u>20-Year Projection</u>	<u>Additional Net SF Req'd</u>	<u>Additional Gross SF Beyond Exist'g</u>	
• Town Hall	8,369 net sf	12,388 net sf	4,019 net sf	43%	5,652 gross sf (1)
• Police Dept	6,415 net sf	13,940 net sf	7,525 net sf	113%	10,913 gross sf
• Recreation	7,016 net sf	12,906 net sf	5,890 net sf	83%	8,304 gross sf
• COA/Seniors	<u>4,105 net sf</u>	<u>9,160 net sf</u>	<u>5,055 net sf</u>	144%	<u>6,760 gross sf</u> (2)
	25,905 nsf	48,394 net sf	22,489 net sf		31,629 gross sf
• Community	18,040 net sf	(tbd)	(tbd)		(tbd) (3)

- (1) This additional gross square footage is beyond that contained within the two existing floors and what is assumed to be a renovated attic at Town Hall. If the attic is not 'built-out', carry 9,452 additional gsf to house Town Hall's future needs.
- (2) This additional gross square footage assumes that the Senior Center is built to house Pembroke's future needs, but is not built as large as would be needed to qualify for state construction grants. Council on Aging staff articulated to the study team that a building housing 28,800 gross square feet may be required to qualify for such a grant. If built to this standard, the additional gross square footage required beyond existing would be 24,110 gsf, or 614% larger than the existing building.
- (3) Current community uses housed at the Community Center building include: Pembroke Youth Hockey Bingo, Center Pre-School, Food Pantry, Adelphi Cable Studio, Community Toy Room, Pembroke Disability Commission, and storage for Ted Williams Baseball and Pop Warner Football. It is unclear as to exactly how much square footage should be provided for these groups going forward.

Suitability of Existing Facilities to Meet Future Space Needs:

With the exception of the Community Center building, none of the other buildings under consideration contain adequate square footage to meet the future space needs of the departments they currently house. And, even though the Community Center building does contain the necessary square footage for an expanded Recreation program, such an expansion would come at the expense of other 'community uses' currently housed there.

The previous table demonstrates just how short the Town Hall, Police Department, and Senior Center buildings fall in their ability to provide square footage for the programmatic needs identified as part of this study. Of these three however, the Town Hall is the most suitable in terms of meeting future space needs.

Pembroke Town Hall

The Town Hall building is in good condition. With the exception of minor painting projects, there is very little work is required on the exterior of the building. The interior is also in good condition and, absent any major addition or renovation projects; it is suitable for continued use without any required code upgrades. Examples of code upgrades that would be required in the event of a renovation project include the installation of fire rated doors at offices opening up to the internal 'atrium' and improvements to more fully comply with handicap accessibility regulations.

The attic level of the Town Hall could be built-out as office or storage space without major upgrades to the structural floor system. As one can imagine however, the roof of the building would require significant structural work in order to install dormers for head height and windows. Given the existing structural system, this is feasible without excessive work. The elevator shaft would have to be extended to the attic level and a second exit stair would have to be built on the exterior of the building to provide code-required egress.

Typical upgrades to mechanical and electrical systems would be required in the event of a renovation or expansion, though again, there is nothing regarding upgrades of these systems that would render the building unsuitable for future use, renovation, or expansion. These upgrades would include the installation of a fire protection system (sprinklers), a new HVAC system to replace antiquated heat pumps, address the need for mechanical ventilation (operable windows are the only source of ventilation), heating shortfalls and automatic temperature control. Electrical upgrades would include the installation of additional power outlets (though the service is adequately sized) and an upgraded addressable fire alarm system.

It is the opinion of the study team that the Town Hall building is clearly suitable for contributing towards the town's future space needs.

Pembroke Senior Center

As currently configured, the current Senior Center building/site is not adequate to meet future needs. The existing building is grossly undersized and there is little room for its expansion on the site. Parking is extremely limited and this problem would be exacerbated significantly if the building (and by extension, its programs) were to be expanded significantly. It is the study team's recommendation that an appropriate site be identified for the long-term needs of the Council on Aging/Senior Center, whether as part of the Town Center Campus, or at another location.

On the positive side, the current Senior Center site is located at the edge of the Town Center Campus and it directly abuts the commercial center of town. As such, it is a prime candidate for sale should the town wish to consider such a move. The site also directly abuts the new library and it could be held in reserve to provide for future expansion of the library parcel.

Pembroke Police Station

As is the case with the Town Hall and Senior Center, the Pembroke Police Station is also grossly undersized in comparison to its present and future programmatic needs. In addition to its small size though, it has other significant issues that make it an unlikely candidate for renovation and expansion. The most important of these is the make up of the structural system, which is not designed to meet current codes related to public safety facilities in the event of a natural disaster such as a hurricane or earthquake. The building would have to be almost completely stripped and rebuilt to meet current code requirements for lateral loading and structural stability.

The Police Station is of a similar vintage as the Town Hall and suffers from some of the same mechanical and electrical issues. Given its public safety function however, these issues are much more acute than they may otherwise be at Town Hall.

The building lacks a mechanical ventilation system and sprinkler system. The heating plant is antiquated and of 'residential' quality. The emergency generator is in poor condition and the

emergency transfer switch and distribution panels for emergency power are not housed in properly fire-rated enclosures. The 911 system is installed in a non-fire rated spot in the basement. The main electrical service is sized at approximately half of what would be specified in a new station of the same size, and all emergency lighting, closed circuit tv, lighting, and power distribution systems should be replaced. Finally, the building lacks a main distribution frame room for radio equipment, telephone recording equipment, servers, paging system equipment, the telephone system and all of the other specialized equipment typically found in a modern police station.

Even if these numerous 'physical plant' issues were to be addressed, the building is still not a strong candidate for addition/renovation. Given the specialized and safety-related nature of police work, it would be very difficult and expensive to upgrade and expand the existing building for police station use while maintaining continuous and functional public safety services. The communications center would have to remain operational throughout, as would most of the other police functions. The exception might be the cellblock, but the cost of transporting to, and overseeing prisoners housed in other communities during the construction period are excessive. The construction of temporary facilities to house these needs is also excessive. Under any scenario, the project costs for these 'extra' issues would make the cost of renovation probably as much, if not more, expensive than the construction of a new station.

While it may be theoretically and technically possible to construct an addition to the rear of the existing building, this addition would most likely result in a layout that lacks functional and operational efficiency. By nature of the required construction phasing, the addition would have to include specific functions such as a new communications center and cellblock in order to allow the existing facilities to remain active during the construction period. By requiring such disparate functions to be housed in the addition, it is probable that the station would end up larger than a new facility would and would have to make compromises in regard to internal 'flow' and functionality.

Though issues involving the complexity of construction phasing and the existing station's wood framed construction type could be addressed, most police stations that are in need of such significant physical plant and programmatic upgrades are constructed new. This is mostly due to the short and long-term issues and costs involved with construction phasing. Given the Pembroke's need and the status of the existing station, it is the opinion of the study team that the existing police station is not suitable to meet the future needs of the police department.

Pembroke Community Center

Though the community center building contains adequate square footage to serve many of Pembroke's needs, it is in dire need of repairs and upgrades to its physical plant systems if it is to continue its service to the town into the future.

The building is structurally sound and, given its available square footage and its place in Pembroke's history, it is a viable candidate for renovation and continued use.

The 'front' portion of the building is the original early 20th c. school structure consisting of a single story classroom and office wing fronting on a well-used and popular common with a bandstand at one end. This original portion of the building contains approximately 14,000 gross square feet of space. To the rear of the original classroom wing are a 'gymnasium', complete with stage, and some minor storage and mechanical spaces in a lower level. The 'rear' wing is comprised of a two-

story addition added onto the side of the original school. It contains approximately 20,000 gross square feet.

As part of a long-term renovation project, entire components of the exterior envelope system should be replaced, including roofing, windows, doors and all trim. The entire exterior masonry wall system should be repointed and cleaned as well. All interior finish systems, including ceilings, floors and walls require repair and replacement. All mechanical and electrical systems have far exceeded their useful life expectancy and should be replaced in their entirety. The building requires the installation of an elevator and a complete upgrade of all handicap accessibility systems.

In the absence of an expeditious start to an extensive renovation project, immediate short term stabilization projects should take place to halt the deterioration of the building. These include replacement of the roof over any portion of the building scheduled for future use, the repair of the existing roofing system in areas of the building subject to future demolition, the replacement of rotted wood trim and gutter/downspout systems, replacement of wood trim on existing wood windows and sealing the perimeter frame of existing metal windows, the sealing of masonry cracks and repair of damaged masonry, and the replacement of the existing wood handicap ramp.

The approximate construction cost of these temporary stabilization projects is \$332,000 in 2006 dollars. An appropriation of \$450,000 in 2006 dollars would be required to cover the construction costs plus additional project related design, contingency and expense costs.

Site Issues – Pembroke Town Center Campus

The Pembroke Town Center Campus is made up of contiguous town-owned parcels in excess of forty acres in size. It contains many municipal buildings, including, the Town Hall, Library, Police Station, Senior Center, Community Center, School Department Collaborative, Historical Society, and GAR Hall/Boys Club.

The parcel appears to contain wetlands, though the floodplain along Herring Brook to the rear does not impact any development on the site, and there appears to be enough 'upland' available for building, parking and recreational needs as identified to date. A review of state wildlife mapping has revealed that there are no areas of critical environmental concern or 'natural heritage' issues such as habitat for endangered wildlife or plants. In depth site analysis by a botanist is required to delineate the edge of any wetlands or other resource areas as part of any further study on this parcel.

The Town Center Campus is served by town water and makes use of various on-site sewage disposal systems. Documentation regarding the on-site sewage disposal system is 'sketchy', but it appears that all three buildings are connected, either directly, or via an overflow system to each other. Further, all three systems require frequent pumping which indicates that they need to be replaced at some point in the near future.

Since it is a contiguous site, it is considered as 'one lot' under Massachusetts DEP regulations and all of the town-owned buildings would have a limit of 10,000 gallons per day of subsurface sewage disposal with conventional systems. Should flow exceed this 10,000 gallon limit, a subsurface groundwater discharge permit and treatment will be required. Depending upon the flow calculations for whatever the town decides to construct, the campus will be close to, or over, the 10,000 gallon threshold. Flow rate variances may be sought based upon actual flows and the study

team has been successful in securing such relief on previous similar projects. Final determination regarding the need for sewage treatment will have a significant impact on project budgets going forward and are worthy of continued and detailed study.

The possibility exists to create a town-owned treatment plant somewhere on the Town Center Campus and to open up sewage capacity to businesses and residences in the adjoining area. This may have positive economic impacts to the town and is also worthy of continued study.

Storm water drainage systems would need to be upgraded to meet current regulations as part of any significant site development.

It is the opinion of the study team that the Town Center Campus is suitable for future development on the scale of what has been projected to date for Pembroke's future needs.

Feasibility of Renovating and Expanding Existing Town Hall and Police Facilities:

It is easy to imagine renovation and expansion of the Town Hall building to meet existing and future space needs for office, storage, and meeting rooms. It contains an 'unfinished' attic that could provide up to 3,800 net square feet of program space and there is adequate space to each side of the existing building for additions and expanded parking.

Though it is feasible to expand the existing police station, it is the study team's opinion that it is neither desirable, nor cost effective to do so.

Feasibility of Renovating the Community Center Building as a Solution to Pembroke's Town Hall and Police Department Needs:

With approximately 34,000 gross square feet of space available, it is clear that adequate space exists within the Community Center building to contribute significantly to Pembroke's future Town Hall or Police Department space needs. The Town Hall space program calls for 18,582 gross sf to meet future needs and the Police Department space program calls for 20,213 gross sf. In total, these two uses would exceed available square footage by almost 5,000 gross sf. This shortfall could be made up by building an addition if it were determined that these two uses are both best served by being housed in the community center building. Under such a scenario, both the existing Town Hall and the existing Police Station buildings would be available for other municipal uses or sale.

Many former school buildings have been successfully converted to beautiful and effective town office buildings and the Community Center building would fit right into this mold. Fronting on the common and presenting a historical facade to Center Street is appropriate. Former classrooms would easily convert to office and meeting space, allowing for flexibility in the floor plan layout. The former auditorium would be an effective public hearing room.

Renovating the building for police station use would present challenges similar to those faced in renovating and adding onto the existing Police Station, with the exception that the difficult phasing issues would be avoided. The logical location for the police department would be in the 'rear' wing, allowing parking and access to the 'working' portions of the building for staff and cruisers, while presenting the business face to the street. The expense of renovating the existing community

center to meet structural and building system requirements would be expensive, again, probably rivaling the expense of building from the ground up.

Renovating the Community Center building for use as a town hall or police station is viable; however, it is the opinion of the study team that a town hall use would be a more natural fit.

Conceptual Design Options:

Working in conjunction with the Community Center Task Force, the study team explored six different master plan concepts (A – F) and four sub-options to meet Pembroke's municipal building needs going forward well into the future.

These concepts included options that minimized new construction in favor of renovations and additions, engaged aggressively in new construction, split town hall between two buildings, moved town hall, moved the police, moved the seniors, maintained separation between recreation and seniors, combined recreation and seniors, maintained and eliminated outside lease income, sold off portions of town-owned property, and either housed many of the community uses or almost none of them!

	<u>Municipal Offices</u>	<u>Police Dept</u>	<u>Senior Center</u>	<u>Recreation Dept</u>	<u>Community Uses</u>
• Option A.1	add/reno incl attic	add/reno	upper cc	upper cc gym addt'n	lower cc senior ctr
• Option A.2	add/reno n/i attic	new bldg behind pd	upper cc	upper cc gym addt'n	lower cc sell senior ctr
• Option B	reno + reno pd no attic no addt'n	rear upp'r cc rear low'r cc	new bldg sr ctr only	upper cc front gym addt'n	upper cc front senior ctr
• Option C	reno + reno lw'r cc no attic no addt'n	new bldg behind pd	upper cc	upper cc gym addt'n	sr ctr
• Option D	reno up'r cc reno lw'r cc	new bldg behind pd	reno t hall	upper cc gym addt'n	sr ctr
• Option E.1	reno up'r cc reno lw'r cc	reno t hall addt'n t hall	new 1 st bld'g share w/ rec	new 1 st bld'g share w/ sr ctr	lower cc police dept

E.1 note: Sell existing senior center building

- Option E.2 reno up'r cc reno t hall new 2 st bld'g new 2 st bld'g lower cc
 reno lw'r cc addt'n t hall share w/ rec share w/ sr ctr police dept

E.2 note: Sell existing senior center building

- Option F.1 reno up'r cc reno t hall new 2 st bld'g new 2 st bld'g former
 addt'n cc addt'n t hall share w/ rec share w/ sr ctr police dept

F.1 note: Sell existing senior center building and demo rear wing of existing community center bldg

- Option F.2 reno up'r cc new bldg new 2 st bld'g new 2 st bld'g new rec/sr ctr
 addt'n cc behind pd share w/ rec share w/ sr ctr

F.2 note: Sell existing town hall and senior center. Demo rear wing of existing community center bldg and demo existing police station to make way for parking

- Option F.3 add/reno new bldg new 2 st bld'g new 2 st bld'g new rec/sr ctr
 behind pd share w/ rec share w/ sr ctr

F.3 note: Demo existing police station and entire existing community center bldgs to make way for parking. Sell existing senior center.

After review of 'pros and cons' for each of these initial master plan concepts, the Community Center Task Force eliminated Options B, C, and D as unwieldy or unwise and asked the study team study Options A, E and F in greater detail and to provide conceptual budget estimates for what were now considered 'viable development options'.

Conceptual Cost Estimates:

'Order of magnitude' conceptual budget estimates were developed by the study team for each of seven 'viable development options'. Given the conceptual nature of the study, square footage allowances were assigned to various master plan scenarios based upon building types, scope of new construction, scope of renovations, and potential construction phasing issues. Inflation figures were not assigned to account for the order of construction (i.e. various buildings within the same option being constructed over time).

Project cost multipliers were added to the value of the construction estimates to account for additional project-related expenses such as design fees, contingencies, furnishings and equipment, etc. All of the master plan options contained an allowance for a new municipal sewage treatment plant on the campus. In those options in which it was deemed acceptable, an allowance was carried for the proceeds that would return to the town due to the sale any town-owned buildings.

The 'turn-key' project cost estimates ranged from a low of \$26,196,263 (Option F.2) to a high of \$30,669,900 (Options E.1 and E.2). It should be noted however that Option F.2 included the sale of the existing town hall and the senior center, which accounted for \$1.9 million in savings. In general, the study team would advise the Town to budget approximately \$28 million in 2006 dollars to meet the capital needs of municipal departments going forward.

Preferred Conceptual Design Options:

Of the ten conceptual design options explored as part of this study, the Town Center Task Force is most comfortable at this point with the broadly defined scenarios contained in the 'Option F' series, though it should be noted that many questions remain to be explored, including the overall magnitude of the project in terms of square footage and cost.

All three of the 'F' options recommend the construction of a new 'Pembroke Community Center' to house the combined needs of the Recreation Department, Senior Center and various community uses. A two story building is recommended, nestled into the hillside on the playfield below the existing community center building. The two-story concept allows for programmatic separation between the Senior Center and the Recreation Department, while allowing the two departments to share flexible program space such as a gymnasium, meeting rooms, etc as they see fit. The Senior Center would be housed on the upper level, accessible from the existing parking lot. The Recreation Center would be housed on the lower level, directly adjacent to the gymnasium and existing playfields. Program integration at community centers in other Massachusetts communities has proven extremely successful and fostered inter-generational activities and interaction. This facility could easily be designed to maintain the town's lease relationship with Pembroke Youth Hockey, with gymnasium and/or other spaces made available for bingo nights.

Options F.1 and F.2 call for the Town Hall to be moved to the original section of the existing community center building and for the removal of the rear addition to improve site lines and traffic flow to the rear of the site where the new Community Center is to be constructed. Option F.3 envisions an addition/renovation project at the existing Town Hall building and the complete demolition of the existing community center building. This could provide additional space for a potential expansion of the town common.

Option F.1 envisioned an addition/renovation project at the existing town hall to house the Police Department. This is a viable solution to the phasing issues associated with the construction of an addition/renovation project at the existing police station, but is not as 'clean' as the construction of a new station, as is called for under Options F.2 and F.3.

Option F.1 allows for community use of the existing police station, while options F.2 and F.3 require its demolition.

The phased implementation of the master plan construction projects is acceptable under any of the 'F' scenarios, but probably most advantageous under Option F.3. Under Option F.3, any one of the projects can be undertaken as the first in a series. The construction of the new Police Station or the new Community Center does not depend on the completion of any other project. The addition/renovation of the Town Hall could also be initiated on an 'as-needed' basis, though it might be easier for staff to live through if it were initiated after the existing community center was empty and could be used as temporary quarters prior to its demolition.

Under Options F.1 and F.2, the conversion of the existing community center into a Town Hall would require the construction of the new Community Center prior to starting in on the Town Hall project.

Recommendations:

The magnitude of the potential work on the Town Center Campus and its impact on the Town of Pembroke is immense. As occurs with many such master planning studies, the major issues have been identified as part of this report and the need for additional work exists to explore the numerous detailed issues that were beyond the scope of this study and the questions that are bound to arise as the public digests the implications of the needs. These issues and questions include the following:

- The scope of this study has identified programmatic and square footage needs for Pembroke's municipal departments going forward well into the future. In conjunction with this programming effort, the study team identified a series of preferred master plan options for long-term construction on the Town Center Campus. Though a preferable master plan seems to be emerging, it has not been subjected to rigorous public debate, nor can alternative scopes of work be ruled out. Municipal staffing and program needs should be subjected to detailed review and analysis. These reviews will impact the required square footage and therefore the cost of the master plan.
- Prioritization of needs should be discussed. Which project needs to be constructed first and why? What is an acceptable timeline for phased construction and where does it fit into the town's capital plan?
- The degree of integration or separation of a new Senior Center with other community activities including recreation should be explored in more depth. The Counsel on Aging is currently pursuing funding for construction project. While the scope of this project may adequately address immediate 'short term' needs, it is the opinion of the study team that the town's long term needs for the Senior Center can not be met on the existing site. Questions then arise: Where is the best location in town for a larger Senior Center? Should it be located on the Town Center Campus? Are there programmatic or fiscal advantages to combining it with other programs in a single Community Center as Option 'F' anticipates?
- How much square footage (if any) should be made available for 'Community' groups within the Town Center Campus, and which groups in particular should be provided for? What is the cost of this space and how should it be paid for?
- Sewage disposal and the potential for integrating municipal needs with private commercial development in Pembroke Center is another far-ranging discussion that needs to take place. Both technical and financial questions abound. Wetlands should be delineated, soils should be tested, and financial models should be constructed.

- Schematic floor plan layouts of individual projects and outline material specifications should be created in order to more accurately prioritize needs and evaluate the cost of various options.
- Phased construction implementation schedules should be agreed upon to allow for more accurate capital planning.
- The existing Community Center Building is in dire need of work to maintain its viability as a public building. Short-term maintenance projects as discussed earlier in this report should be instigated immediately to prevent further damage to the building's infrastructure.

Project Cost Overview of Viable Development Options

Pembroke Community Center Study
CBI/RDA Architects

August 10, 2006

(Revised from July 12, '06 Draft # 3 for inclusion in final report)

<u>Department</u>	<u>Accommodations</u>	<u>Gross SF</u>	<u>Construction Cost</u> 2006 \$/sf	<u>Project Cost</u> 35% Multiplier	<u>Project Cost</u> 2006	<u>A.1 Pros</u>	<u>A.1 Cons</u>
A.1 Town Hall 18582 gsf programmed	Town Hall Site finish attic renovations addition	3800 12930 <u>2000</u> 18730	\$ 250 \$ 225 \$ 275	88 79 96	\$ 1,282,500 \$ 3,927,488 \$ 742,500 \$ 5,952,488	houses portion of comm'ty uses second lowest cost could sell senior ctr to defray \$	Most Difficult to live through town hall living through renos recreation living thru renos police living thru renos temp pd facilities add to proj cost pd design flow may be limited site reconfiguration limited at pd site reconfiguration limited at cc disrupt hockey lease income
Police 20213 gsf programmed	Police Station Site renovations addition	9300 <u>11000</u> 20300	\$ 300 \$ 350	130 123	\$ 3,999,000 \$ 5,197,500 \$ 9,196,500		
Recreation 18197 gsf programmed	Community Ctr Site renovations (upper) addition	12100 <u>6500</u> 18600	\$ 225 \$ 250	79 88	\$ 3,675,375 \$ 2,193,750 \$ 5,869,125		
COA/Seniors 11450 gsf programmed	Community Ctr Site renovations (upper)	<u>11450</u> 11450	\$ 225	79	\$ 3,477,938 \$ 3,477,938		
Community 25436 gsf programmed	Senior Center Site renovations	<u>3730</u> 3730	\$ 175	61	\$ 881,213 \$ 881,213		
	Community Ctr Site renovations (lower)	<u>9000</u> 9000	\$ 175	61	\$ 2,126,250 \$ 2,126,250		
Shared Sewage Treatment Facility Total Municipal SF		81,810 gsf			\$ 400,000		
Total Budget Estimate of Project Costs (2006 dollars)					\$ 27,903,513		
Total Municipal GSF Programmed		68,442 gsf					
GSF Available for Community Uses		13,368					

Project Cost Overview of Viable Development Options

Pembroke Community Center Study
CBI/RDA Architects

August 10, 2006

(Revised from July 12, '06 Draft # 3 for inclusion in final report)

<u>Department</u>	<u>Accommodations</u>	<u>Gross SF</u>	<u>Construction Cost</u> 2006 \$/sf	<u>Project Cost</u> 35% <u>Multiplier</u>	<u>Project Cost</u> 2006	<u>A.2 Pros</u>	<u>A.2 Cons</u>
A.2 Town Hall 18582 gsf programmed	Town Hall Site finish attic renovations addition	0 12930 5800 18730	\$ 250 \$ 225 \$ 275	88 79 96	\$ - \$ 3,927,488 \$ 2,153,250 \$ 6,080,738	easier to phase than A.1 best pd flow layout possible avoids pd living thru renov's could sell senior ctr to defray \$ potential for site reconfig at pd	town hall living through renos recreation living thru renos slightly higher cost than F site reconfiguration limited at cc disrupt hockey lease income
Police 20213 gsf programmed	Police Station Site new building	20300 20300	\$ 350	123	\$ 9,591,750 \$ 9,591,750		
Recreation 18197 gsf programmed	Community Ctr Site renovations (upper) addition	12100 6500 18600	\$ 225 \$ 250	79 88	\$ 3,675,375 \$ 2,193,750 \$ 5,869,125		
COA/Seniors 11450 gsf programmed	Community Ctr Site renovations (upper)	11450 11450	\$ 225	79	\$ 3,477,938 \$ 3,477,938		
Community 25436 gsf programmed	Senior Center Site renovations	3730 3730	\$ 175	61	\$ 881,213 \$ 881,213		
	Community Ctr Site renovations (lower)	9000 9000	\$ 175	61	\$ 2,126,250 \$ 2,126,250		
Shared Sewage Treatment Facility Total Municipal SF		81,810 gsf			\$ 400,000		
Total Budget Estimate of Project Costs (2006 dollars)					\$ 28,427,013		
Total Municipal GSF Programmed GSF Available for Community Uses		68,442 gsf 13,368					

Project Cost Overview of Viable Development Options

Pembroke Community Center Study
CBI/RDA Architects

August 10, 2006

(Revised from July 12, '06 Draft # 3 for inclusion in final report)

Department	Accommodations	Gross SF	Construction Cost 2006 \$/sf	Project Cost 35% Multiplier	2006 Project Cost	E.1/E.2 Pros	E.1/E.2 Cons
E.1 Town Hall & 18582	Community Ctr Site renovations (upper)	20000	\$ 225	\$ 79	\$ 6,075,000	good phasing (new cc bldg) continuous hockey income	highest cost highest extra 'community' sf
E.2 gsf programmed		20000			\$ 6,075,000	could sell pd to decrease \$	too much town hall sf
Police 20213	Town Hall Site renovations	12930	\$ 300	\$ 130	\$ 5,559,900	potential for site reconfig at pd	site reconfiguration limited at cc
gsf programmed	addition	7600	\$ 350	\$ 123	\$ 3,591,000	can hold all existing commty uses	pd design flow may be limited
		20530			\$ 9,150,900		
Recreation 18197	Ballfield Site new building	18000	\$ 250	\$ 88	\$ 6,075,000		
gsf programmed	(shared with coa)	18000			\$ 6,075,000		
COA/Seniors 11450	Ballfield Site new building	11450	\$ 250	\$ 88	\$ 3,864,375		
gsf programmed	(shared with recr)	11450			\$ 3,864,375		
Community 25436	Police Station Site renovations	9300	\$ 175	\$ 61	\$ 2,197,125		
gsf programmed		9300			\$ 2,197,125		
	Community Center Site renovations (lower)	10000	\$ 175	\$ 61	\$ 2,362,500		
	renovations (up'r aud)	4000	\$ 175	\$ 61	\$ 945,000		
		14000			\$ 3,307,500		
Sell	Senior Center Site				\$ (400,000)	appraisal needed	
Shared Sewage Treatment Facility					\$ 400,000		
Total Municipal SF		143,722			\$ 30,669,900		
Total Budget Estimate of Project Costs (2006 dollars)							
Total Municipal GSF Programmed		68,442					
GSF Available for Community Uses		75,280					

Project Cost Overview of Viable Development Options

Pembroke Community Center Study
CBI/RDA Architects

August 10, 2006

(Revised from July 12, '06 Draft # 3 for inclusion in final report)

Department	Accommodations	Gross SF	Construction Cost		Project Cost 35% Multiplier	2006		F.1 Pros	F.1 Cons
			2006 \$/sf	Cost		Project Cost	Project Cost		
F.1 Town Hall 18582 gsf programmed	Community Ctr Site renovations addition	14000 4000 18000	\$ 225 \$ 275	\$ \$	79 96	\$ 4,252,500 \$ 1,485,000	\$ 5,737,500	easy to phase continuous hockey income no one lives thru renovation allows good site reconfig low extra 'community' sf built	add/reno may impact P.D. flow pd design flow may be limited
Police 20213 gsf programmed	Town Hall Site renovations addition	12930 7600 20530	\$ 300 \$ 350	\$ \$	130 123	\$ 5,559,900 \$ 3,591,000	\$ 9,150,900		
Recreation 18197 gsf programmed	Ballfield Site new building (shared with coa)	18000 18000	\$ 250	\$	88	\$ 6,075,000	\$ 6,075,000		
COA/Seniors 11450 gsf programmed	Ballfield Site new building (shared with recr)	11450 11450	\$ 250	\$	88	\$ 3,864,375	\$ 3,864,375		
Community 25436 gsf programmed	Police Station Site renovations	9300 9300	\$ 175	\$	61	\$ 2,197,125	\$ 2,197,125		
Sell	Senior Center Site					\$ (400,000)	appraisal needed		
Demo	New Wing of Com'ty Ctr	20000	\$ 15	\$	5	\$ 405,000			
Shared Sewage Treatment Facility Total Municipal SF		77,280 gsf				\$ 400,000			
Total Budget Estimate of Project Costs (2006 dollars)						\$ 27,429,900			
Total Municipal GSF Programmed		68,442 gsf							
GSF Available for Community Uses		8,838							

Pembroke Community Center Study
CBI/RDA Architects

(Revised from July 12, '06 Draft # 3 for inclusion in final report)

1-17

Project Cost Overview of Viable Development Options

Pembroke Community Center Study
CBI/RDA Architects

August 10, 2006

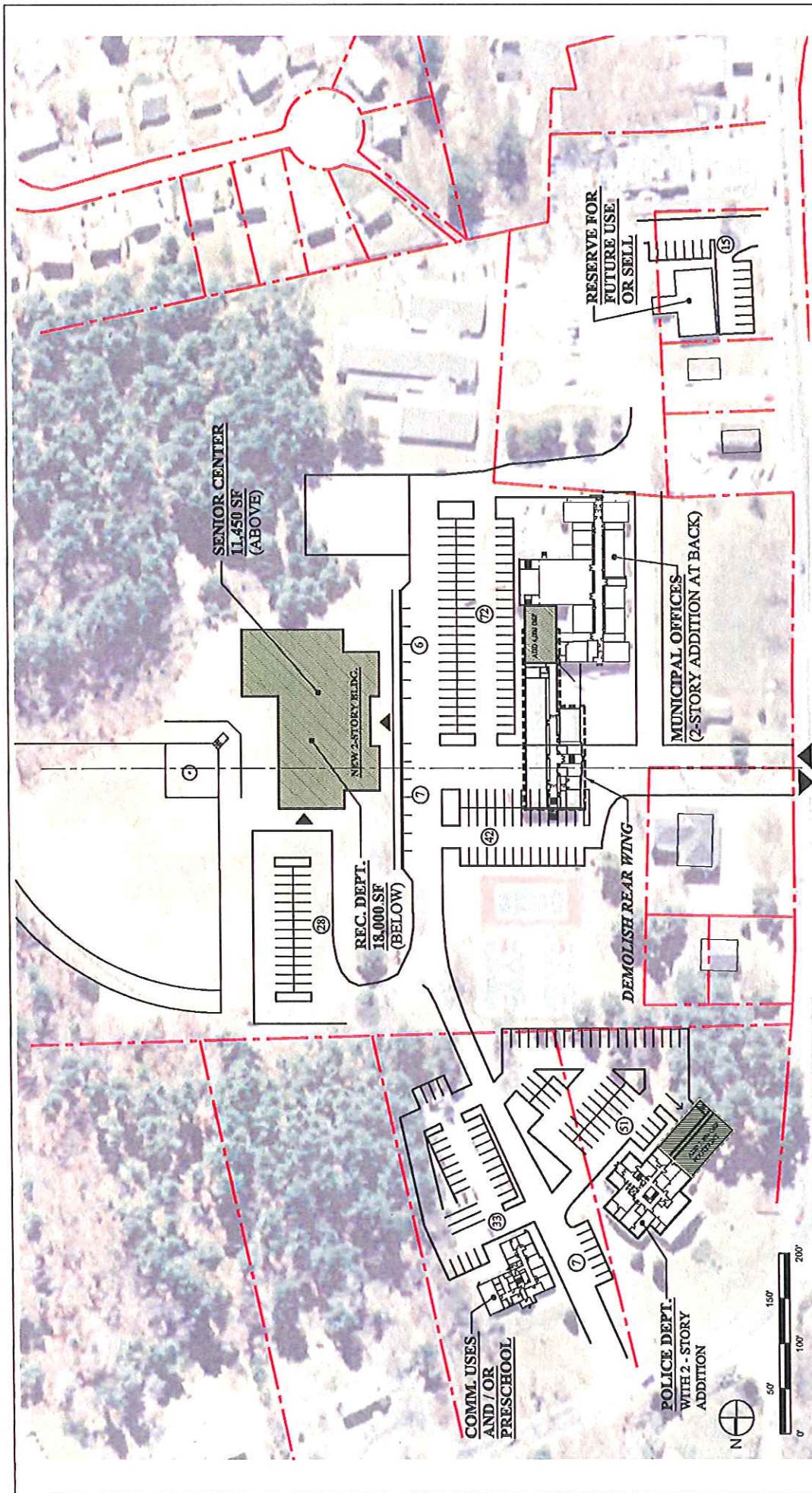
(Revised from July 12, '06 Draft # 3 for inclusion in final report)

Department	Accommodations	Gross SF	Construction Cost 2006 \$/sf	Project Cost 35% Multiplier	2006 Project Cost	F.3 Pros	F.3 Cons
F.3 Town Hall 18582 gsf programmed	Town Hall Site finish attic renovations addition	0 12930 5800 18730	\$ 250 \$ 225 \$ 275	88 79 96	\$ - \$ 3,927,488 \$ 2,153,250 \$ 6,080,738	larger Town Green all new facilities only operating 3 facilities avoids P.D. living through phasing potential for site reconfiguration expanded comm. Cntr. Programs	add/reno may impact T.H. flow most demolition on site
Police 20213 gsf programmed	Police Station Site new building	20300 20300	\$ 350	123	\$ 9,591,750 \$ 9,591,750		
Recreation 18197 gsf programmed	Ballfield Site new building (shared with coa)	18000 18000	\$ 250	88	\$ 6,075,000 \$ 6,075,000		
COA/Seniors 11450 gsf programmed	Ballfield Site new building (shared with recr)	11450 11450	\$ 250	88	\$ 3,864,375 \$ 3,864,375		
Community Ballfield Site	new building (shared with rec/coa)	5435 5435	\$ 250	88	\$ 1,834,313 \$ 1,834,313		
Sell	Senior Center Site				\$ (400,000)	appraisal needed	
Demo Demo	Community Ctr. Bldg. Exist. Police Station	34000 9300	\$ 15 \$ 15	5 5	\$ 688,500 \$ 188,325		
Shared Sewage Treatment Facility					\$ 400,000		
Total Municipal SF		73,915	gsf		\$ 28,323,000		
Total Budget Estimate of Project Costs (2006 dollars)							
Total Municipal GSF Programmed		68,442	gsf				
GSF Available for Community Uses		5,473	gsf				

Pembroke Municipal Buildings
Pembroke, MA
Civil Evaluation – Preferred Option F
Page 1 of 1
April 19, 2006

Option F Civil Evaluation

- The issue of the use of the ball fields for a municipal sewage facility needs to be further studied to verify that there exists sufficient area to accomplish both needs. We assume absent that information that the Option F stands alone.
- There are no Heritage issues with the proposal.
- We would maintain a 100 foot separation from the woodland where it seems the wetlands begin and that appears to have enough room for the leaching facility which could be placed at the ball fields, if they perc. Indications are that the soil will be suitable. If the ball field doesn't test affirmatively we would test the tennis courts. The next study phase should include a more detailed analysis including percolation tests and wetland delineation.
- The placement of the building may require ConComm action. The area does not show up on the state wetlands but that does not mean they are not regulated by the wetland act. We would need a botanist to flag the wetlands. It does not appear to be serious constraints on building even if the work is within 100 feet of wetlands.
- Assuming that we can get a variance as we did on Harwich the sewage flow for the Program would be under 10,000 GPD and treatment is not needed. A conventional sub surface sewage disposal system would suffice.
- The storm drainage systems would comply with Storm Water Management Guides. Roof Drainage will be recharged with leaching pits to the ground. Parking areas will have deep sump catch basins with environmental hoods, and will be piped to treatment devices such as stormceptors and will either go to a retention pond or detention pond at the edge of the woods at the lowest point on the site.

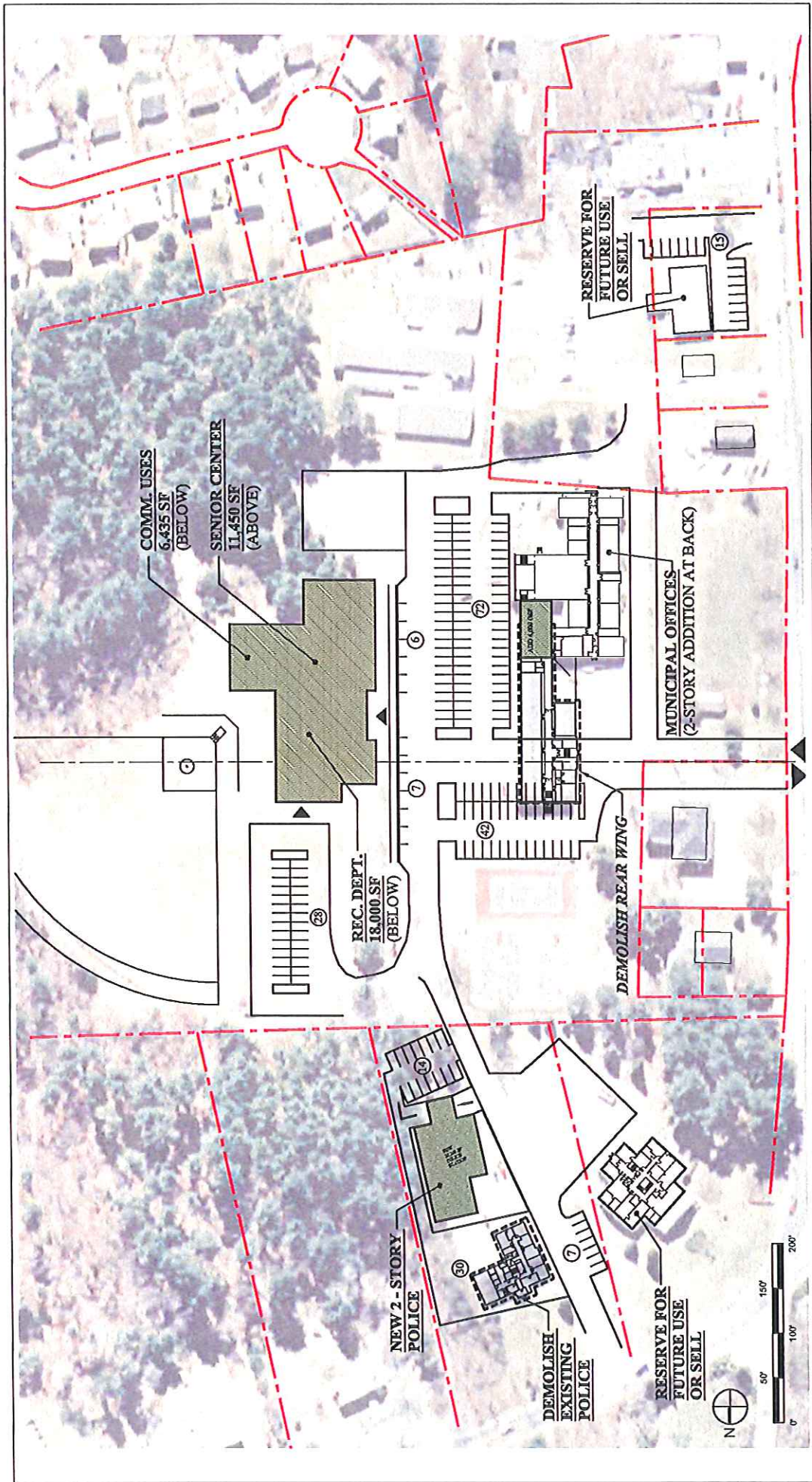


OPTION F.1 SITE PLAN -
DEMOLISH REAR WING @ COMM. CNTR.

JUNE 7, 2006

PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

CBI / RDA
Consulting Inc. Raymond Design Associates, Inc.



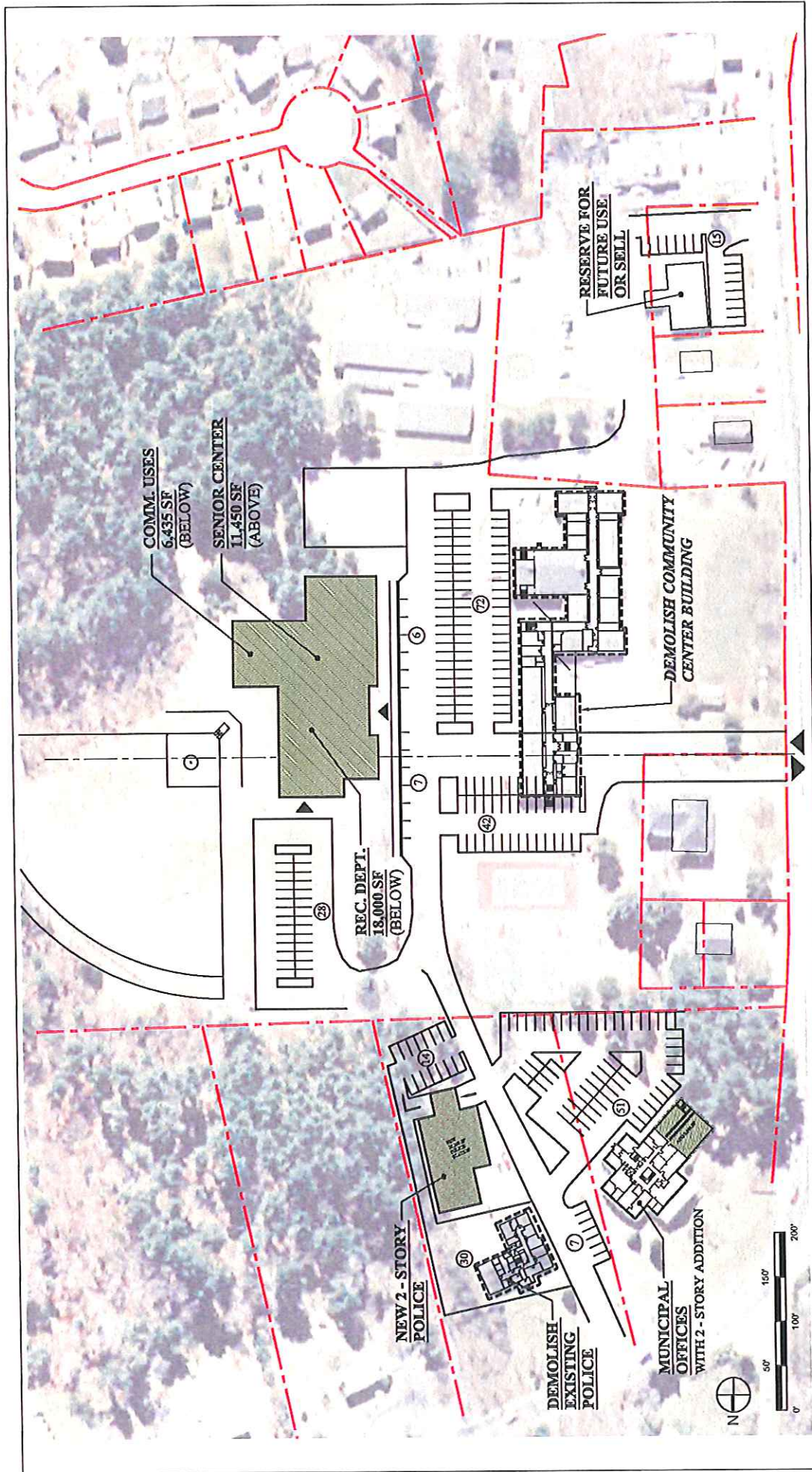
OPTION F-2 SITE PLAN -

NEW POLICE STATION / TOWN HALL ON RESERVE

AUGUST 24, 2006

PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

CBI / RDA
Raymond Design Associates, Inc.
Consulting, Inc.



OPTION F.3 SITE PLAN -
DEMOLISH COMMUNITY CENTER BLDG.

PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

AUGUST 24, 2006

CBI / RDA
Consulting Inc. Raymond Design Associates, Inc.

EXISTING CONDITIONS

Pembroke Community Center Feasibility Study
Pembroke, Massachusetts
Existing Conditions Survey (Architectural/Structural)
Page 1 of 5
August 9, 2006

Pembroke Feasibility Study

(Architectural/Structural)

August 9, 2006

The Pembroke Community Center consists of three buildings adjacent to one another on a single site. They include the Town Hall, the Police Station, and the Community Building, which is the former school. The Town Hall and the Police Station were built approximately at the same time (late 1970's) and are wood frame construction with vinyl siding and asphalt shingle roof finish. The Community Center building is of masonry wall construction with a flat rubber roof and faux mansard transitional roof elements with asphalt shingles. The windows in the Town Hall and Police Station are wood, and the windows in the Community Building are aluminum and wood.

The intent of this report is to describe the existing conditions of each facility and describe deficiencies, recommendations for repair, and maintenance / repair activities that should be performed in advance of a major site renovation project.

TOWN HALL

The Town Hall is in good condition and very little work is required on the exterior of the building. All the wood trim, which is exposed painted wood at all the roof edges, has peeling paint and the wood substrate is exposed in many areas. The windows are also wood and the existing paint finish is severely deteriorated, causing the wood substrate to weather. In each of these instances, the existing wood should be prepared and painted. The wood trim at the roof edge could be covered with aluminum as more of a long-term maintenance solution. The cupola at the peak of the roof is also exposed wood and requires paint as well. The Town should make note that modern paint products do not last more than five years and any exposed wood should be put on a maintenance cycle.

The front porch facing Route 14 contains several minor maintenance and repair items that should be addressed including a hole in the vinyl siding, a crack in the brick paver floor and concrete steps as well as painting of the rusted steel handrails and exposed wood columns. The ceiling of the porch is plaster and should be painted as well.

The interior of the building is in good condition and unless a building permit is obtained no work is required, at the current time, to change any of the building elements to meet the current building code. The current building code is different than that which the building was built upon in 1978 and several items have

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Pembroke Community Center Feasibility Study
Pembroke, Massachusetts
Existing Conditions Survey Architectural/Structural))
Page 2 of 5
August 9, 2006

changed, including the minimum rise and run for exit stairs, width of exit stairs, guardrails, and handicapped accessibility.

Each floor has direct egress out to grade. The second means of egress is through the central stairwell or the enclosed egress stair from one floor to another. Because the center of the building is designed as an atrium, the doors which lead from the adjacent offices into the corridor surrounding the central stair should be fire-rated. Either the original doors were not fire-rated or they have been replaced with doors with windows. These large, 2' wide and 3' tall, glass openings in the doors negate the fire-rating ability of doors. The doors also do not contain a UL label indicating that they are not rated.

The guardrail surrounding the central stair was retrofitted with a piece of Plexiglas, which reduced the opening size to a maximum of 5" between balustrades. This was a good effort at the time, but the code has changed to require a maximum of 4" between balustrade openings. Also, the railings which double as guardrails and handrails are not tall enough. Current guard requirements are 42" above the nosing of the stair with an additional single handrail that's required on the interior.

The existing double doors to the ground level exit appear to be propped open at all times. The intent of these doors is to act as a fire separation and should remain closed at all times. However, they could be connected to magnetic hold-opens which release upon the activation of the fire alarm. The exit door on the upper level does not appear to have fire separation doors at the end of that corridor, which is questionable.

Handicapped accessibility has been addressed but does not meet the current code to the letter. The existing elevator is approximately 4' deep and 5' wide. The current code calls for a 5' x 5' minimum cab to allow a wheelchair to turn around completely within the space. While it would be structural infeasible to change this elevator (it would require tearing out the existing shaft and replacing the cab) it is likely that the Town can receive a waiver from the Mass AAB for this item, assuming that certain other things are changed, like the height of the controls, installation of Braille signage, and audio signaling. The bathrooms need only minor adjustments to meet the intent of the accessibility code even though they do not strictly meet the dimensional requirements of the code. Most importantly, the door swings are incorrect. The likely overriding concern regarding toilet facilities in the building is whether or not there are a sufficient overall number of fixtures for the current occupancy.

The attic was reviewed for the possibility of expansion into the attic. This would require several structural changes to this roof area. Dormers would have to be installed in order to provide windows for lighting and ventilation, the elevator shaft would have to be extended upward into the attic and likely through the sloped roof

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Pembroke Community Center Feasibility Study
Pembroke, Massachusetts
Existing Conditions Survey Architectural/Structural))
Page 3 of 5
August 9, 2006

to provide enough overrun. A second means of egress would have to be installed, likely in the form of a new stair addition to be constructed in the inside corner of the building facing Route 14 on the side away from the Police Station. This amount of construction would have to be carefully weighed against the need for additional space in the attic (programming versus cost).

POLICE STATION

The existing Police Station structure, which was built at the same time as the Town Hall, is suffering the same exterior maintenance issues at the exposed wood at the roof eaves and the wood windows. Additionally, there are several entrance steps that have been created out of pressure treated lumber, which are severely deteriorated and require replacement. At the same time, they would have to meet current codes for guards, handrails, and steps. Existing exterior doors are deteriorated and should be painted if in good condition and replaced if deteriorated. The existing wood doors require replacement while the metal doors can be recovered.

The biggest issue concerning the Police Station involves its complete lack of compliance with current safety requirements for Police Station design. The number of violations are so numerous that they could receive an entire separate report. Suffice it to say that the amount of work that it would take to bring this facility up to code would cost as much or more than it would to build a brand new facility. Additionally, from a disruption standpoint and the standpoint of keeping the building in operation during the construction (the Police Station still needs to meet the needs of the community), it would be more economical and faster to build a new Police Station immediately adjacent to the old one, keeping the existing facility in operation until it was time to move completely into the new building.

COMMUNITY CENTER

The existing Community Building, which is the former school, has been converted to numerous uses including day care, recreation, bingo, as well as local cable channel offices and production facilities. While the existing building is being utilized, it is not being utilized to its full potential. Spaces within the building are still vacant. The existing configuration, which was originally designed for school occupancy, does not directly translate to other modern uses. The corridors, for example, are extremely wide and therefore contain wasted space that could otherwise be used by tenants. Additionally, the corridor walls are extremely thick, containing numerous chases for mechanical systems which are no longer used. Modern HVAC systems need much less space and, again, this contains space that could be used by the adjacent occupancy.

The existing toilet facilities are inefficient, although they potentially provide enough overall space for new toilet layouts. The existing stairwells appear to be

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Pembroke Community Center Feasibility Study
Pembroke, Massachusetts
Existing Conditions Survey Architectural/Structural))
Page 4 of 5
August 9, 2006

numerous enough with proper rise and run of stair treads. However, the railing heights are insufficient to meet current safety requirements. Doors throughout the facility do not meet the current codes for fire separation.

The existing floor tiles appear to be vinyl asbestos material, which can be left in place or covered. Removal is also a fairly standard operation but will increase the cost of construction. There are numerous locations throughout the facility where current and former leaks have caused deterioration of the ceiling tiles and plaster finish, which require repair.

One of the most problematic and costly parts of this project will include the need to replace all the windows in the entire facility. The existing windows are single-pane glass with aluminum and wood frames that are not thermal broken. The facility will see an immediate payback in energy costs if these windows are replaced. The existing masonry finish on the building exterior has numerous deficiencies including mortar joints that need pointing, bricks that require replacing, as well as cracks and structural deficiencies, which should be repaired. All of these items can be done using standard masonry techniques.

Most of the exposed wood on the building exterior has deteriorated to a point that it requires replacement. In many of the areas the wood is adjacent to roofing, which is also severely deteriorated and could all be replaced at the same time. A new system of downspouts is required. It does not appear that there is a perimeter yard drain system to carry roof drainage away from the building. This should be considered during the cost estimating process for this project.

Handicapped access into the building does not meet current code. It is accomplished through two ramp systems that are installed at the south and west side of the building. The south ramp is concrete with steel rails. The pitch of the ramp appears to be correct, but the railing system does not meet the current requirements. The wood rail system at the west entrance does not meet the code in numerous ways. This should be completely replaced. However, as this building is being considered for numerous Town functions, an elevator should be considered to house the building. If so, one or more of these ramps could be eliminated and the elevator could be incorporated into an entrance so that the ramps are no longer needed.

INTERIM MAINTENANCE

Until the design option selected by the town is designed and constructed, certain maintenance activities and repairs should be performed to halt deterioration and preserve the building structure until new facilities are built, as follows:

Town Hall

CBI Consulting, Inc.

Pembroke Community Center Feasibility Study
Pembroke, Massachusetts
Existing Conditions Survey Architectural/Structural))
Page 5 of 5
August 9, 2006

Paint all exposed wood windows, roof, trim, and the cupola. Install white aluminum over all the roof fascia boards.

Police Station

Paint all exposed wood windows, roof, and trim. Install white aluminum over all the roof fascia boards. All pressure treated wood decks and porches require repair and replacement of broken, missing or warped lumber. Paint the existing metal doors. Replace deteriorated doors.

Community Center

Any areas of the building to remain in the new design should receive a new roof. We recommend a single ply PVC membrane with heat welded seams over tapered rigid insulation. The mansard shingles should be replaced with an architectural asphalt shingle. All the wood trim should be replaced along with any deteriorated blocking. New gutters and downspouts, as well as internal drains, should be installed. The roofing over the other areas, which will be demolished, should be temporarily repaired. An acrylic spray on coating should be applied to the existing roofing which is inexpensive and will provide 5 years of protection.

Minor masonry repair work should be performed on the building exterior at major cracks and areas of deterioration that would allow water into the system.

The window trim at the perimeter of the wood windows require replacement and any broken storm windows should be replaced. Sealants at the perimeter of the metal windows should be replaced and any broken glass replaced.

The wheelchair ramp at the center of the building should be completely replaced with a new compliant pressure treated wood ramp with metal rails.

The town should budget \$ 332,000 for this work.

MST/jao
06006 L002 Preliminary Report

Pembroke Municipal Complex
Pembroke, Massachusetts
Existing Conditions Survey (Civil)
Page 1 of 3
April 19, 2006

CIVIL

SITE CONDITIONS

- The Community Center, Town Hall and Police Station are located on several contiguous parcels of town owned land in excess of 40 acres.
- The parcel is served by a public water system and on site subsurface sewage disposal systems.
- There are in addition to the above several smaller Community Facilities such as the new Library Building, Scouts and Elderly Buildings.
- Commonwealth of Massachusetts DEP polices would aggregate the several parcels so that they would be considered as one lot and thus would have a limit of 10,000 gal/day of sewage which could be disposed of by conventional subsurface sewage disposal systems. When this threshold is reached a ground water discharge permit is required. Treatment of the effluent is also required.

ZONING:

- The site is located in a Residence A Zone which allows municipal uses. The site is outside the Center Protection District.
- The site is not located in the Zone II Watershed Protection Overlay District.
- The site is not indicated in the Massachusetts G.I.S. System and does not contain any areas of critical environmental concern nor does it appear on the endangered species maps. There are wetlands to the rear of the ball fields adjacent Herring Brook. The flood plain zone along the brook does not impact any development on the site.

ACCESS:

- Paved access is provided with a shared entrance at Center Street shared by the Police and Town Hall. The Community Center has shared access from Center Street. The rear of the three parcels is used for parking and is interconnected with a paved drive behind the Public Tennis Courts which roughly bisect the Community Center and the Town Hall and Police Station.
- In general, paving is in need of resurfacing in all three facilities. The paved surfaces are poorly drained and show signs of cracking and disintegration.

Pembroke Municipal Complex
Pembroke, Massachusetts
Existing Conditions Survey (Civil)
Page 2 of 3
April 19, 2006

DRAINAGE:

- Drainage appears to be a combination of piped systems from the Community Center and Town Hall. Police Station discharges to grade with splash blocks from gutters and downspouts.
- There are a limited number of catch basins. Catch basins appear to be leaching type basins. There is evidence that these systems are in need of replacement as in significant run off events, they overtop and discharge by overland to the ball fields and lower lands off the paved way.
- Any significant renovation will include all new drainage systems that employ current Stormwater Management Practices to treat the runoff before recharge to the groundwater. Roof Drainage will be recharged with leaching pits to the ground. Parking areas will have deep sump catch basins with environmental hoods, and will be piped to treatment devices such as stormceptors and will either go to a retention pond or detention pond at the edge of the woods at the lowest point on the site.

SANITARY SEWERAGE:

- The Town has retained the Engineering Firm of Weston and Sampson for the feasibility study of a municipal sewerage collection and treatment facility to include the Municipal Complex and the retail center. The study is in its preliminary stages. One of the areas under consideration for the municipal disposal site is the ball field area.
- The area has not yet had a geotechnical study to verify its suitability either by Weston and Sampson or this team.
- Based on review of available data at the Pembroke Board of Health, the Town Hall was granted a permit in 1979 to install a 2000 gallon septic tank at the rear of the building. Quoting the permit "The effluent from the septic tank will go to the existing sewage system at the Center School which was designed to include the Old Town Hall. In case of a backup the flow would go to the sewage system at the Police Station."
- The plans for the Town Hall indicate a connection to the Police Station System. Reportedly there have been backups in the systems with frequent pumping of the system.

Pembroke Municipal Complex
Pembroke, Massachusetts
Existing Conditions Survey (Civil)
Page 3 of 3
April 19, 2006

- There is no available information or drawings for the School or Police Station drainage systems.
- Clearly each of the three buildings has its own individual septic tank. The Town Hall and Community Center directly share a common leaching system and indirectly share (via an overflow) the Police Station System. Frequent pumping indicates that the systems are near failure and a new system is required for the (3) buildings.
- The soils to the rear of the complex, based on the experience of local testing by the Health Department are expected to pass a percolation test as per Title IV. If the proposed municipal system is approved, the complex would connect to that system. Should that plan not materialize, it is expected that the three buildings could continue to function with an on-site sewage disposal system. A more detailed analysis of the other municipal uses in the contiguous Town Parcels will be required. However, preliminarily it appears that the total flow would be less than 10,000 gallons/day and since the site is not impacted by any areas of concern, no form of treatment would be required.

Pembroke Community Center
Pembroke, MA
Existing Conditions Report (Plumbing/Fire Protection)
Page 1 of 2
April 19, 2006

CIVIL

- Building is serviced by municipal water and on-site septic. Municipal water appears to adequately serve the site and is suitable for expansion. See civil report for discussion of the septic system.
- Drainage for runoff from paved parking areas and the roof appear to discharge to underground piping systems.

PLUMBING

- Presently, the plumbing systems serving the building are cold water, hot water, sanitary waste and vent system, and natural gas.

FIXTURES

- Fixtures in the building are of mixed vintage some original to the construction and some retrofits. Water closets are floor mounted, flush valve vitreous china, with elongated bowls and several are round front bowls which are non-code compliant.
- Urinals are wall hung, flush valve, vitreous china, fairly new but not accessible.
- Lavatories are generally wall hung vitreous china, two handle faucets.
- Wall hung electric water cooler fairly new.
- There are toilets for public use which are intended to be accessible. These do not fully meet current standards.
- Generally the fixtures are fairly old and have served their useful life. They are not code compliant as they are not water conserving nor are they accessible.
- All new fixtures will be required for any significant renovation.

DRAINAGE SYSTEMS

- Cast iron is used for sanitary. The exposed piping in the bingo room is in fair to poor condition.

Pembroke Community Center
Pembroke, MA
Existing Conditions Report (Plumbing/Fire Protection)
Page 2 of 2
April 19, 2006

- The building is generally sloped roof to an exterior copper gutter system with copper downspouts connecting to exterior downspout shoes which are cast iron in some cases, PVC in others. Several are broken and the exterior piping system is probably clogged.
- A complete new system of downspouts and piping is required for a significant renovation.

WATER SYSTEMS

- Building has a 4" cast iron water service. There is adequate pressure for expansion.
- The piping where exposed is generally copper pipe with solder joints given the age of the system, a significant renovation will require all new water piping systems.

NATURAL GAS

- There is a retrofitted 250 cfh gas meter.
- A new gas service and meter will be required for a significant renovation.

FIRE PROTECTION

- Building is not currently provided with a piped automatic fire suppression system.
- A new sprinkler system will be required for a renovation.

Pembroke Community Center
Pembroke, Massachusetts
Existing Conditions Survey (HVAC)
Page 1 of 2
April 19, 2006

HVAC System Deficiencies

Boiler Room

Extensive surface contamination on boiler shells

Boilers appear to be reaching their maximum serviceable life

Water leaks along base of each boiler

No containment area installed around interior fuel oil storage tanks

Fuel oil piping runs along floor and is unprotected

Extensive surface soiling and contamination on expose steam piping and valves.

It appears insulation on piping is asbestos

Fuel oil transfer pumps and piping from underground storage system have been abandoned in-place

Crack in masonry chimney should be investigated by structural engineer

Condensate receiver storage tank not insulated

Condensate piping not insulated

Vacuum pump return system extremely antiquated and appears to have been abandoned in-place

Automatic temperature control system appears extremely antiquated and is not appear to be operating

No combustion air louvers provided

Public Toilet Areas

Central exhaust system is extremely antiquated, appears undersized area served, and does not appear to operate

Pembroke Community Center
Pembroke, Massachusetts
Existing Conditions Survey (HVAC)
Page 2 of 2
April 19, 2006

Communicating Corridors

We are installed central exhaust system is extremely antiquated and is not appear to operate. Code required supply it was not provided

Various corridors were not provided with any ventilation air

Entrance Vestibules

Wall mounted convectors are undersized to control infiltration air during frequent door use

Upper and Lower Typical Classroom Areas

All wall mounted classroom unit ventilators are extremely antiquated, extensive surface soiling, and do not appear to be operating

Wall openings provided for central exhaust do not appear to be operating

Gymnasium

Wall mounted convectors are extremely antiquated and soiled

Stage area not provided with ventilation air

Air handling units providing air to gymnasium are extremely antiquated and did not appear to be operating

Automatic temperature control system is completely out of service

Pembroke Community Center
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 1 of 3
April 20, 2006

ELECTRICAL DISTRIBUTION SYSTEM:

- The existing electrical service consists of a 400 AMP, 120/230 volt, 1Ø, 3 wire main disconnect switch manufactured by Murray.
- The existing 400 amp service is located in the boiler room. Service consists of main switch section and panelboards.
- Existing lighting and power panels are circuit breaker and are rated at 120/230 volt, 1Ø, 3wire. Panelboards are provided throughout the school.
- A separate 200 amp 120/230 volt, 1Ø, 3 wire service with a main disconnect switch is also provided in the boiler room.

INTERIOR LIGHTING SYSTEM:

- Existing classroom, office and corridor lighting consists of 1' x 8' surface mounted prismatic fixtures. Lighting in the corridor consists of 1' x 4' surface wraparound fixtures.
- Lighting in the gym consists of surface 2' x 2' square HID fixtures.

EMERGENCY LIGHTING SYSTEM:

- Self-contained emergency lighting units are provided throughout the building. Non-lit exit signs have been provided throughout the building.

SITE LIGHTING SYSTEM:

- Existing site lighting is by building mounted incandescent flood lights. Lighting fixtures are surface mounted incandescent spot lights at the main entrance. There is one pole with a flood light in the parking lot.

WIRING DEVICES:

- Existing classroom and media center have outlets throughout the room including surface wiremold with outlets and data jacks.

Pembroke Community Center
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 2 of 3
April 20, 2006

FIRE ALARM SYSTEM:

- The building is equipped with an automatic non-addressable fire alarm system throughout the building. Existing strobes do not meet ADA for intensity. The fire alarm control panel is manufactured by Potter. Notification to the fire department is by a surface mounted Silent Knight transmitter. Toilet rooms, classrooms and stage do not have horn/strobe units.
- Corridors have smoke detectors and horn/strobes throughout and pull stations at exits.

DATA/TELEPHONE/CLASSROOM INTERCOM/CLOCK SYSTEM/SECURITY SYSTEM:

- The telephone service is located in the boiler room. The Administration area has telephone handsets. The telephones are used for paging.
- There are battery clocks in the classrooms.

RECOMMENDATIONS:

ELECTRICAL DISTRIBUTION SYSTEM:

- The existing Murray main disconnect switch needs to be replaced. The entire distribution system and service needs to be replaced.

INTERIOR LIGHTING SYSTEM:

- Existing lighting throughout the building should be replaced. The new lighting would be more efficient and provide better light levels.

EMERGENCY LIGHTING SYSTEM:

- All existing exit signs should be replaced with new more efficient LED type.

SITE LIGHTING SYSTEM:

- Fixtures at entrances should be replaced with new more efficient fixtures.

Pembroke Community Center
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 3 of 3
April 20, 2006

WIRING DEVICES:

- Each classroom should have a minimum of (2) duplex receptacles per wall and (2) double duplex receptacles at classroom computer workstations.

FIRE ALARM SYSTEM:

- The existing fire alarm system should be replaced with a new addressable system to provide adequate coverage throughout the school. ADA requires strobe units in all toilet rooms.

DATA/TELEPHONE/CLASSROOM INTERCOM/CLOCK SYSTEM/SECURITY SYSTEM:

- The existing telephone paging system should be replaced with a new classroom intercom system with speakers and telephone handsets in all classrooms.
- A new clock system should be provided to replace the battery clocks throughout the building.

Pembroke Town Hall
Pembroke, MA
Existing Conditions Report (Plumbing/Fire Protection)
Page 1 of 2
April 19, 2006

CIVIL

- Building is serviced by municipal water and on-site septic. Municipal water appears to adequately serve the site and is suitable for expansion. See civil report for discussion of the septic system.
- Drainage for runoff from paved parking areas and the roof appear to discharge to underground leaching systems including a drywell which also serves as a catch basin.

PLUMBING

- Presently, the plumbing systems serving the building are cold water, hot water, sanitary waste and vent system, and natural gas.

FIXTURES

- Fixtures in the building appear original installation to the construction. Water closets are wall hung, flush valve vitreous china, with elongated bowls.
- Urinals are wall hung, flush valve, vitreous china.
- Lavatories are generally wall hung vitreous china, two handle faucets.
- Wall hung electric water cooler.
- There are toilets for public use which are intended to be accessible. These do not fully meet current standards.
- Generally while the fixtures are well maintained they are not code compliant as they are not water conserving nor are they accessible.

DRAINAGE SYSTEMS

- Cast iron is used for sanitary. It is expected that the piping could be reused in a renovation project.
- There is a floor drain in the boiler room and reportedly there is glycol in the piping for cooling. This floor drain should be plugged.

Pembroke Town Hall
Pembroke, MA
Existing Conditions Report (Plumbing/Fire Protection)
Page 2 of 2
April 19, 2006

WATER SYSTEMS

- Building has a 4" cast iron water service with a 2" disc meter and a pressure reducing valve. There is adequate pressure for expansion.
- Hot water is provided with a 30 gallon capacity gas fired water heater the heater requires a thermostatic mixing valve.
- There have been recent retrofits of backflow preventers.
- The piping where exposed is generally copper pipe with solder joints and it is insulating. The piping could be reused in a significant renovation depending on final pipe sizing.

NATURAL GAS

- There is an elevated gas pressure service and 1 gas meter. Gas is used for heating and hot water.
- Depending on projected loads it would appear that gas is adequate for future expansion.

FIRE PROTECTION

- Building is not currently provided with a piped automatic fire suppression system.

Pembroke Town Hall
Pembroke, Massachusetts
Existing Conditions Survey (HVAC)
Page 1 of 2
April 19, 2006

HVAC System Deficiencies

Boiler Room

Breeching not insulated

Hot water piping not insulated

Leaking air vent on separator causing surface corrosion

Automatic temperature control system very antiquated

Combustion air inlets are not provided with motor operated dampers and the lower unit should be ducted to within 18 inches of floor

Excessive surface corrosion on expansion tank

Lower-Level

Wall mounted heat pump units are antiquated and have surface soiling

Ventilation throughout entire low-level is through operable windows with no mechanical ventilation provided

It appears that all heat pump units are manually controlled

No central exhaust systems provided to assist in natural ventilation air flow

Gas meter located adjacent to combustion air louvers

No insulation on exterior condenser water piping and piping which travels underground and does not appear to be protected from electrolysis

Main Level

It appears that the original heat pump units have been failing all of which are in excess of their acceptable usable life

It appears that heating is inadequate which is evidenced by portable electric heaters throughout

Pembroke Town Hall
Pembroke, Massachusetts
Existing Conditions Survey (HVAC)
Page 2 of 2
April 19, 2006

Planning Director's office not provided with heat or air-conditioning all of which appears to be provided from adjacent spaces

Supply ductwork feeding circulation corridors throughout lower-level and upper level not insulated

Circulation piping not insulated

Condensate drain not insulated

Wall mounted heat pump units are antiquated and have surface soiling

Ventilation throughout entire upper-level is through operable windows with no mechanical ventilation provided

It appears that all heat pump units are manually controlled

No central exhaust systems provided to assist in natural ventilation air flow

Pembroke Town Hall
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 1 of 3
April 18, 2006

ELECTRICAL DISTRIBUTION SYSTEM:

- The existing electrical service consists of a main circuit breaker located in the basement. The service rating is rated at: 600 amp, 120/208 volt, 3Ø, 4 wire. The equipment is manufactured by Square D which is no longer in business.
- Existing lighting and power panels are circuit breaker type and are rated at 120/208 volt, 3Ø, 4wire. The existing panels do not appear to have spare circuit breakers for the addition of new lighting and power circuits. The existing panels are in good condition and manufactured by Square D.

INTERIOR LIGHTING SYSTEM:

- Existing office lighting consists of 2'x4' recessed mounted fluorescent fixtures with acrylic lenses. The fixtures are in good condition.
- Toilet room appear to have incandescent fixtures. The quantity of light is not adequate.
- Corridor lighting consists of recessed fluorescent fixtures with the acrylic lenses.

EMERGENCY LIGHTING SYSTEM:

- Remote emergency lighting heads are located throughout the building. Additional self-contained emergency lighting units are provided throughout the building. Exit signs are the fluorescent type throughout the building.

SITE LIGHTING SYSTEM:

- Existing site lighting is by building mounted wall pack/flood lighting fixtures. Site lighting does not appear adequate.

WIRING DEVICES/BRANCH CIRCUITS:

- It appears that offices do not have adequate quantity of receptacles. Extension cords are being used throughout for connection of computer equipment.

Pembroke Town Hall
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 2 of 3
April 18, 2006

FIRE ALARM SYSTEM/TEL/DATA:

- The building is equipped with a FCI-4 Zone automatic fire alarm system. Existing strobes do meet ADA for intensity.
- Toilet rooms do have strobe lights installed.
- Some fire alarm pull stations are mounted higher than 48" above finished floor as required by ADA.
- The telephone service is located in the main electric room.

RECOMMENDATIONS

ELECTRICAL DISTRIBUTION SYSTEM:

- The existing electric service distribution system is in good condition and provides adequate capacity for the building.

INTERIOR LIGHTING SYSTEM:

- New lighting should be low glare type fixtures such as Parabolic 2'x4' with low iridescent louvers.
- Incandescent lighting fixtures in the toilet rooms should be replaced with energy saving fluorescent fixtures.

EMERGENCY LIGHTING SYSTEM:

- All existing fluorescent exit signs should be replaced with new more efficient LED type to meet current requirements.

SITE LIGHTING SYSTEM:

- New fixtures for area lighting should be installed. New cut-off type building mounted fixtures should be installed.

Pembroke Town Hall
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 3 of 3
April 18, 2006

WIRING DEVICES:

- Each large office/meeting room should have a minimum of (2) duplex receptacles per wall and (2) double duplex receptacles at computer workstations. Offices should have a minimum of (1) duplex receptacle per wall, (1) double duplex receptacle at computer workstations and dedicated outlets for equipment.

FIRE ALARM SYSTEM:

- A new fire alarm system should be provided. The new system should be addressable type. The system must be ADA compliant.

Pembroke Police Station
Pembroke, MA
Existing Conditions Report (Plumbing/Fire Protection)
Page 1 of 2
April 19, 2006

CIVIL

- Building is serviced by municipal water and on-site septic system. Municipal water appears to adequately serve the building and is suitable for expansion.
- Runoff from the sloped roof discharges to grade with splash blocks.

PLUMBING

- Presently, the plumbing systems serving the building are cold water, hot water, sanitary waste and vent system and natural gas.

FIXTURES

- Fixtures in the building are of mixed vintage reflecting the time of the original installation. Recent renovations include new fixtures. Water closets in the Police Station are generally floor mounted flush tank vitreous china, with elongated bowls in some cases, round in others.
- Urinals are wall hung, flush valve, vitreous china.
- Lavatories are generally wall hung vitreous china, two handle faucets.
- Non-accessible pressure balanced shower exists for the male offices and a renovated facility in the upper level for the female offices.
- There are several cells with institutional toilet fixtures. There are no accessible fixtures.
- There are toilets which are intended to be accessible. These do not fully meet current standards.
- Generally while the fixtures are well maintained, they are not code compliant as they are not water conserving nor are they accessible.

DRAINAGE SYSTEMS

- Cast iron is used for sanitary drainage. The exposed piping runs in the basement space indicate the piping is in satisfactory condition.
- The piping from the floor drainage in the Police Station garage area has been sealed.

Pembroke Police Station
Pembroke, MA
Existing Conditions Report (Plumbing/Fire Protection)
Page 2 of 2
April 19, 2006

WATER SYSTEMS

- The Police Station has 2 copper service with a 1" disc meter.
- The water service in the Police Station enters into the basement along with the electric service in to the same room which is a code violation.
- Hot water is provided with a 40 gallon storage water heater, gas fired. A thermostatic valve is required.

NATURAL GAS

- There is an elevated gas pressure one (1) gas meters. Gas is used for heating and hot water.
- Depending on projected loads it would appear that gas is adequate for future expansion.

FIRE PROTECTION

- Neither building is currently provided with a piped automatic fire suppression system.

Pembroke Police Station
Pembroke, Massachusetts
Existing Conditions Survey (HVAC)
Page 1 of 2
April 19, 2006

HVAC System Deficiencies

Boiler Room

Approximately 50% of hot water piping not insulated

Surface corrosion on gas gas piping

Could not locate automatic temperature control system and it appears one is not installed

One combustion air inlet provided and without motor operated damper. Additional lower unit should be provided and ducted to within 18 inches of floor also provided with motor operated damper

Lower-Level

Baseboard radiation is residential quality, is antiquated, damaged and has extensive surface soiling

It does not appear that the mechanical ventilation system in the lower-level is operating

No central exhaust systems provided to assist in ventilation air flow

Various corridor areas in lower-level not ventilated

Exhaust fan in locker area is manually controlled and area is not provided with constant ventilation

Main Level

Baseboard radiation is residential quality, is antiquated, damaged and has extensive surface soiling

No central exhaust systems provided to assist in ventilation air flow

Ventilation for entire first floor appears to be through the use of operable windows

Wall mounted air-conditioning units have surface soiling

Circulation corridor is not provided with ventilation air

Pembroke Police Station
Pembroke, Massachusetts
Existing Conditions Survey (HVAC)
Page 2 of 2
April 19, 2006

Numerous interior areas not provided with ventilation air

No ventilation air provided for Sallyport

No carbon monoxide detectors in sallyport area

It does not appear that central exhaust system in booking area is operating

Upper Level

Baseboard radiation is residential quality and has slight surface soiling imperious areas

No central exhaust systems provided to assist in ventilation air flow

Ventilation for entire upper floor appears to be through the use of operable windows

Circulation corridor is not provided with ventilation air

Exhaust fan in locker area is manually controlled and area is not provided with constant ventilation

Pembroke Police Station
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 1 of 4
April 19, 2006

ELECTRICAL DISTRIBUTION SYSTEM:

- The existing electrical service consists of an original main circuit breaker/CT section located in the basement. The service rating is rated at: 400 amp, 120/208 volt, 3Ø, 4 wire. The service equipment has reached its life expectancy. The equipment is manufactured by Federal Pacific which is no longer in business.
- Existing lighting and power panels are circuit breaker type and are rated at 120/208 volt, 3Ø, 4wire. The existing panels do not appear to have spare circuit breakers for the addition of new lighting and power circuits. The existing panels are 1970s vintage and manufactured by FPE which is no longer in business.

INTERIOR LIGHTING SYSTEM:

- Existing office lighting consists of 1'x4' surface mounted fluorescent fixtures with acrylic lenses.
- Dispatch area has recessed 2' x 2' fluorescent fixtures with acrylic lens.
- The locker room has 2' x 2' recessed fluorescent fixtures.
- Cell areas have a vandal resistant wall mounted fluorescent fixtures which are in poor quality. The fixtures should be replaced.
- Corridor lighting consists of recessed 2' x 4' fluorescent fixtures with the acrylic lenses.
- The booking area does not have vandal resistant fluorescent fixtures. The existing fixtures are not appropriate for the environment.
- The lighting in the sallyport is very low. The light levels are inappropriate for the task required.

EMERGENCY LIGHTING SYSTEM:

- The emergency lighting system is through an indoor 30Kw emergency generator. The generator is natural gas.

Pembroke Police Station
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 2 of 4
April 19, 2006

- The feeders and emergency equipment are not located in two (2) hour rated enclosures as is required by Code. The condition of the generator is poor condition. The automatic transfer is located adjacent to the main service which back-feeds the entire service. The installation is not code compliance because it does not separate life safety from optional standby systems.
- The existing exit signs are fluorescent type and in poor condition.

SITE LIGHTING SYSTEM:

- Existing site lighting is by building mounted wall pack/flood lighting fixtures. Site lighting does not appear adequate.

WIRING DEVICES/BRANCH CIRCUITS:

- It appears that offices do not have adequate quantity of receptacles. Extension cords are being used throughout for connection of computer equipment.

FIRE ALARM SYSTEM/CCTV/E911/TEL/DATA:

- The building is equipped with a FCI-4 Zone automatic fire alarm system. Existing strobes do meet ADA for intensity. The cell areas do have smoke detectors outside of cells.
- Toilet rooms do have strobe lights installed.
- Some fire alarm pull stations are mounted higher than 48" above finished floor as required by ADA.
- There is a closed circuit TV system with a black-and-white multiplexer. The closed circuit TV system should be upgraded. The CCTV cameras are black and white type. Monitor for CCTV is located in dispatch area.
- The existing telephone is located in the main electric.
- E911 equipment is installed in a non-rated room in basement.

RECOMMENDATIONS

ELECTRICAL DISTRIBUTION SYSTEM:

GARCIA • GALUSKA • DESOUSA

Consulting Engineers

Inc.

Pembroke Police Station
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 3 of 4
April 19, 2006

- The continuous capacity (80% of rated service conductors) is 160 amperes or 57.6KW. The total square footage not including any proposed additions is approximately 7,000 s.f. yielding approximately 8.2 watts/s.f.
- New construction service ratings are generally designed for a demand load of 15 watts/s.f.

INTERIOR LIGHTING SYSTEM:

- New lighting should be low glare type fixtures such as Parabolic 2'x4' with low iridescent louvers.

EMERGENCY LIGHTING SYSTEM:

- The existing emergency system should be completely replaced. New emergency light fixtures will be installed in all egress areas such as corridors, intervening spaces, toilets and above exterior doors. All new feeders must be two (2) hour rated, and equipment located in a (2) hour rated room.
- New exit signs should be provided.

SITE LIGHTING SYSTEM:

- New fixtures for area lighting should be installed. New cut-off type building mounted fixtures should be installed.

WIRING DEVICES:

- Each large office/meeting room should have a minimum of (2) duplex receptacles per wall and (2) double duplex receptacles at computer workstations. Offices should have a minimum of (1) duplex receptacle per wall, (1) double duplex receptacle at computer workstations and dedicated outlets for equipment.

FIRE ALARM SYSTEM/CCTV/E911:

- A new fire alarm system should be provided. The new system should be addressable type. The system must be ADA compliant.
- A new closed circuit TV system should be installed with color cameras and digital video recorder that is connected to the local area network.

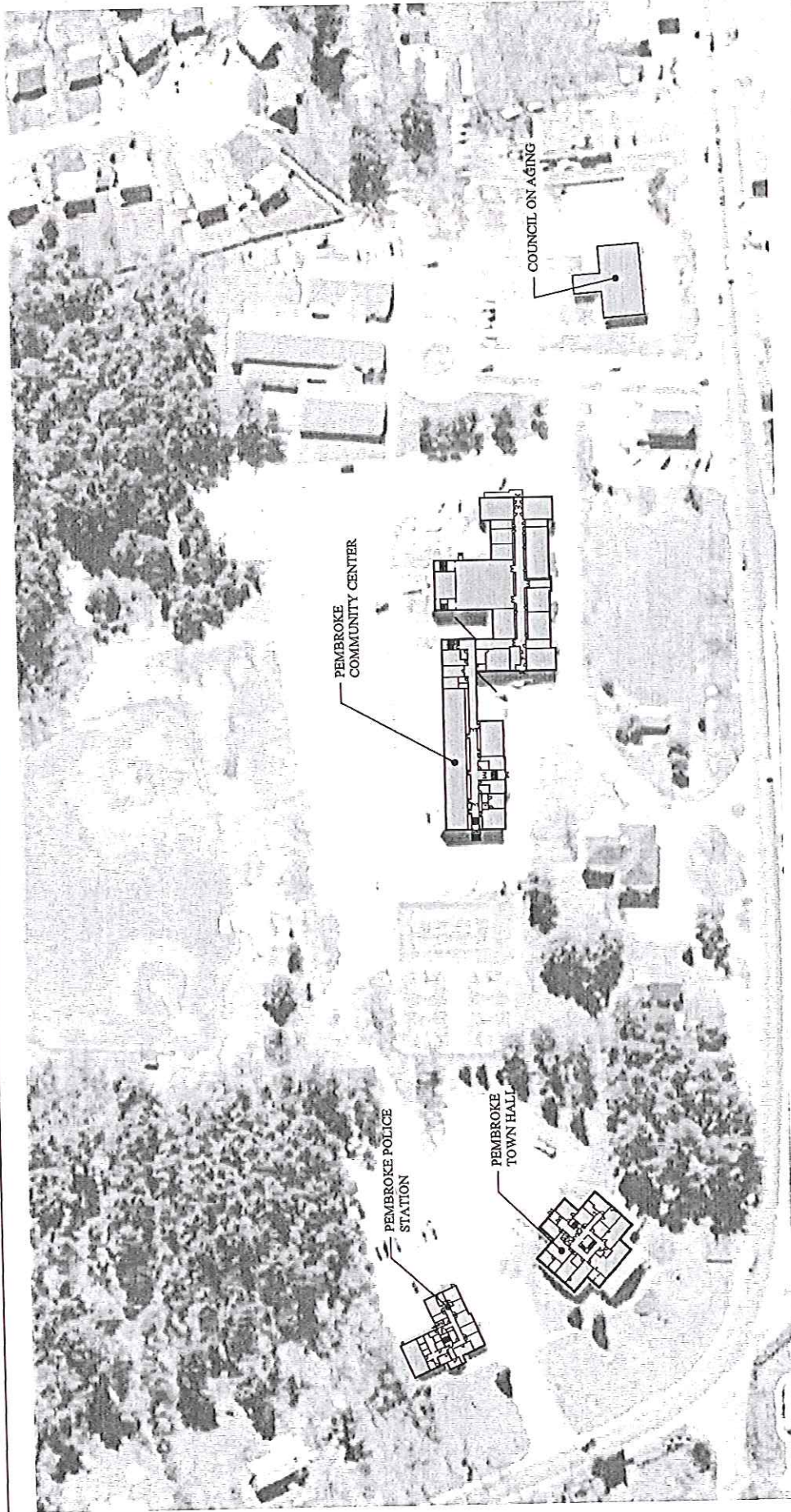
GARCIA • GALUSKA • DESOUSA

Consulting Engineers

Inc.

Pembroke Police Station
Pembroke, Massachusetts
Existing Conditions Survey (Electrical)
Page 4 of 4
April 19, 2006

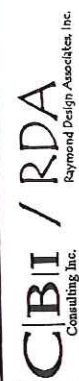
- A new main distribution frame room should be provided to include radio equipment, telephone recording equipment, servers, paging system, telephone system and other specialized equipment headend.
- A duress alarm system should be provided and areas such as booking, detention area, exercise room, and sallyport. The duress alarm will annunciate and the dispatch in roll call room.



PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

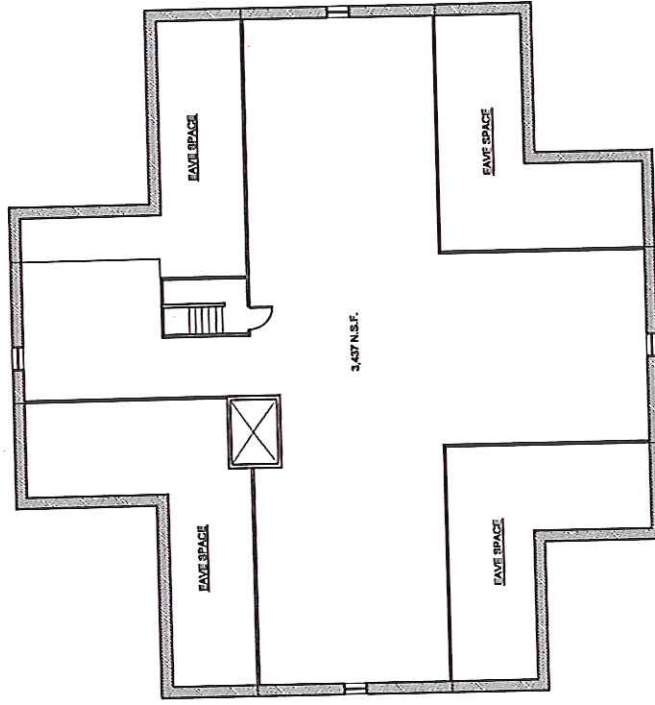
EXISTING CONDITIONS SITE PLAN

C|B|I / RDA
Consulting Inc. Raymond Design Associates, Inc.





EXISTING CONDITIONS PLANS

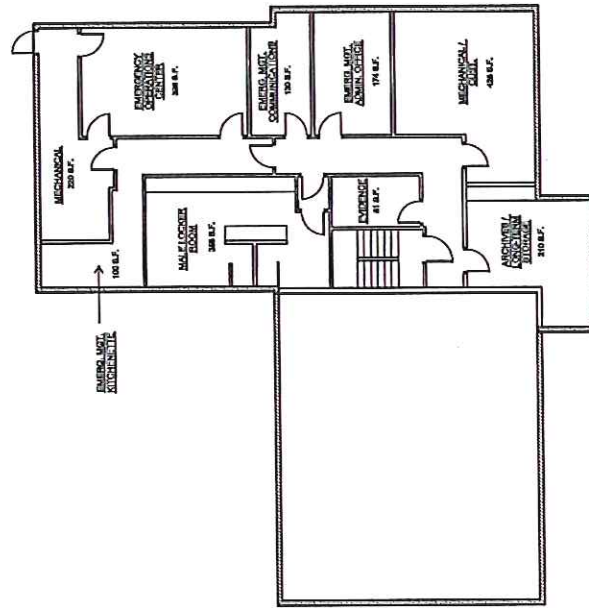


3 ATTIC FLOOR PLAN - 3,812 GSF

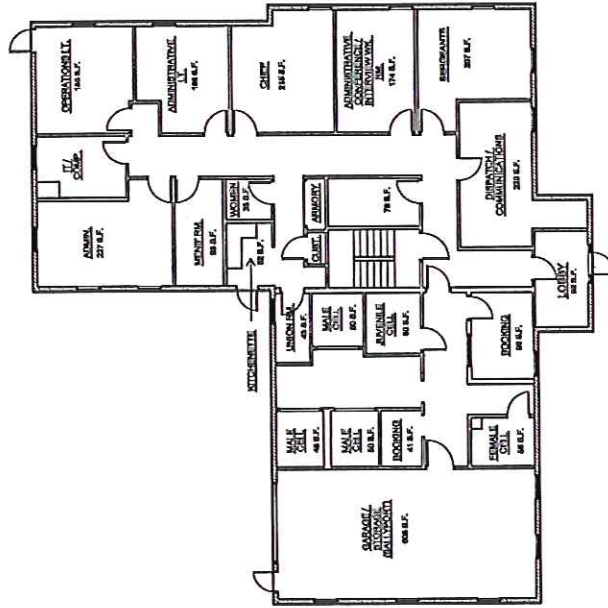


EXISTING CONDITIONS PLANS

PEMBROKE TOWN HALL
PEMBROKE, MASSACHUSETTS

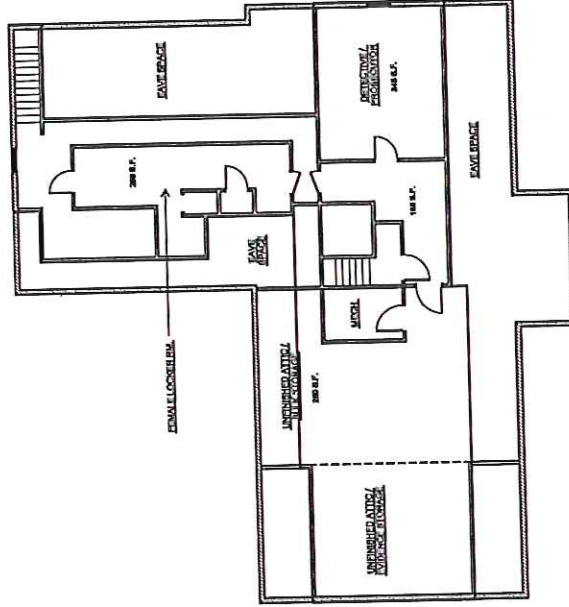


1 BASEMENT FLOOR PLAN : 2,700 GSF



2 FIRST FLOOR PLAN : 4,200 GSF



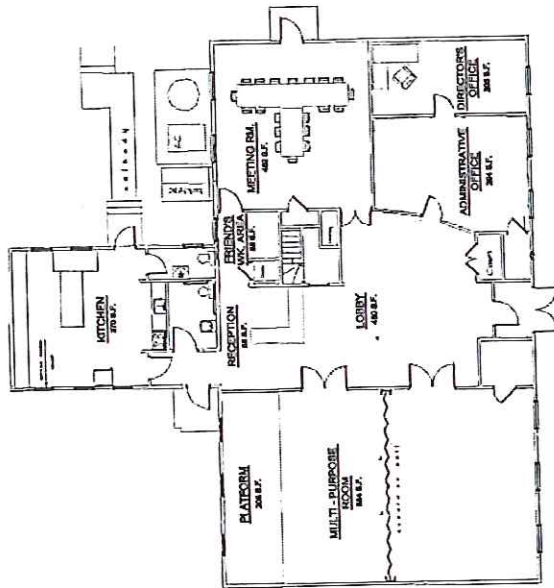


3 SECOND FLOOR PLAN : 2,400 GSF
Scale: 1/8" = 1'-0"

EXISTING CONDITIONS PLAN

PEMBROKE POLICE STATION
PEMBROKE, MASSACHUSETTS

CBI / RDA
Raymond Design Associates, Inc.
Consulting, Inc.



1 FIRST FLOOR PLAN : 3,730 GSF
SCALE: 1/8" = 1'-0"

EXISTING CONDITIONS PLAN

PEMBROKE COUNCIL ON AGING
PEMBROKE, MASSACHUSETTS

SPACE NEEDS

Overview of Twenty Year Space Needs for Municipal Departments

Pembroke Community Center Study
CBI/RDA Architects

August 10, 2006

The following space needs projections are based upon programmatic and staffing needs projections as determined by departmental administrators

	Existing Building's Gross SF	Existing Dept'l Net SF	20 Yr. Program Net SF	Net to Gross Ratio	20 Yr. Projected Gross SF	Required Increase Gross SF	Incr. %
Town Hall							
lower level	6465					1,852	11% if attic is renovated
upper level	6465					5,652	34% if attic is NOT renovated
potential attic	3800						
total:	16,730	8,369	12,388	1.50	18,582		
Police Department							
first floor	4200						
second floor	2400						
basement	2700						
total:	9,300	6,415	13,940	1.45	20,213	10,913	117%
Senior Center							
first floor	3730						
basement (960 gsf mech)	960						
total:	4,690	4,105	9,160	1.25	11,450	6,760	144%
					(still under review by coa)		
Community Center							
recreation dept. upper level							
community use upper level	14212						
community use lower level	11320						
total gsf:	35,332	7,016	12,906	1.41	18,197	8,397	86%
Town-Wide Departmental Total:	40,520	25,905	48,394		68,442	33,574	83%

Pembroke Town Hall Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	Existing Net SF (2006)	Programmed Net SF (20 yr need)	Comments
Upper Level			
Town Accountant	280	2 300	2
Selectmen			
town administrator office	195	1 250	1 include conf area
administrative office	390	1 390	2 create hrg rm & maintain work table
copy/work room	110	120	can be shared with other depts
Town Clerk			
town clerk office	0	1 150	1
administrative office	385	2 300	2
public counter	80	100	
vault	150	150	
Bd of Health			
health officer office	0	1 150	1
administrative office	390	2 500	3 existing office crowded
public counter	0	100	
dead files	200	250	currently located in mechanical room
Treasurer/Collector			
treasurer office	115	1 150	1
treasurer admin office	245	2 450	3
collector admin office	450	3 600	4
public counter	100	100	
Bd of Assessors			
public counter	100	150	
assessor office	0	1 150	1
administrative office	481	750	5 proposed could be 100 sf less if needed
Conference Room	390	800	double or triple conf capacity
Upper level Vault for other depts	195	195	

Pembroke Town Hall Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	Existing Net SF (2006)	Programmed Net SF (20 yr need)	Comments
Lower Level	225	225	
Veterans Affairs			
DPW			
director office	225	1	assumes doesn't move off site
administrative office	190	2	2 add assist dir
public counter	80	3	
storage	80	80	move expensive equip to town hall
Building			
zba	110	1	1 would like to have bd meetings in rm like planning
zba storage	0	80	
public counter	80	100	
bldg insp office	150	1	1
administrative office	360	3	4 will need another work station + more active files required to keep plans forever by law now
bldg dept storage	80	160	
Planning Board			
planner office	0	150	1
administrative office	335	450	1 enlarge room for bd meetings
Lower level Vault for shared depts	368	368	
Staff Lounge	230	250	
Divisible Hearing Rm	900	1800	double meeting capacity
Mail Rm	85	120	
Mechanical/Custodial (2 rms)	615	500	
Total: Net Square Footage:	8369	12388	
Gross Square Footage	12930	18582	
Net to Gross Ratio	1.54	1.50	

Pembroke Police Department Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	<u>Existing Pembroke</u>	<u>Pembroke Program</u>	<u>Difference</u>	<u>Pembroke Existing Comments</u>	<u>Pembroke Proposed Comments</u>
Public Access					
Lobby	92	300	208	no counter, no public amenities	bullet resistant window for dispatch, 2
Vestibule	0	70	70	none	vending mach's, counter for filling out forms, seats for wait'g
Public Rest Rooms - 2 @ 50sf	0	100	100	none	required by code for energy conservation 1 male, 1 female required for public service and training room support - 2 @ 50 sf ea
Public Community / Training Room	0	675	675	existing is in basement - not available for public use (see Operations)	plan for 25 occ's in public area - should double as emergency operations center five mobile 4x3 work stations for emerg ops.
modular work area storage for emerg mgt ops	0	100	100	none	- dpw, fbi, state police, etc wrestl'g mats, suits, strike pads, seats, tables
equipment storage	0	80	80	in mechanical room - not appropriate	not required
a/v room for training/public use	0	0	0	none	not required
kitchen alcove	0	0	0	none	for use if called in off road
work area for station officer	0	60	60	none - bring public into administrative conference rm in secure area	direct public access - set up for 3 people - 1 officer + 2 civs
Lobby Interview Room #1	0	120	120	none	not required
Lobby Interview Room #2	0	0	0	none	computer + camera req'd
FID Processing	0	120	120	none - done in admin conf/break rm	

Access Subtotal: 1,625 net sq ft

Pembroke Police Department Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	Existing Pembroke	Pembroke Program	Difference	Pembroke Existing Comments	Pembroke Proposed Comments
Public Interaction					
Volunteer Greeter	0	0	0	none	not required
Comm. Center / Dispatch / 911	220	2	2	does not have bullet resistant window, dedicated kitchenette or toilet rm	2 consoles, 1 sgt wk station, 4 lockers, access flr, kitchenette and toilet rm
dedicated toilet	0	50	50	none	unisex is ok
dedicated break room / kitchenette	0	20	20	none	adjacent to dispatch, open alcove
911 equipment	0	0	0	basement	remote secured room is acceptable no need for separate lobby window, adj to admin assist, compact shlvng
Records (traffic)	0	0	0	basement long term records rm	provide station in com center
Station Officer	0	0	0	none - officers called in off the road if requested	not required
Communications Supervisor Office	0	0	0	none	
Shift Commander	0	0	0	adjacent to squad room if possible	
Interaction Subtotal:			470	net sq ft	
Administration					
Administrative Assistant / Waiting	227	250	23	two stations	two stations
Active Records	0	150	150	in the admin office	separate room not required
Administrative Conference	174	155	-19	shared use as interview and break rm	dedicated conf rm for administrative use
General Admin Storage	0	40	40	none	
Archives	0	0	0	none	not required
Vault	0	0	0	none	mail in squad rm boxes / copy with admin
Copy / Mail Station	0	0	0	in the admin office	not required
Mail Room	0	0	0	none	conf table with 4 seats
Chief's Office	205	1	-5		
closet	10	200	190		
toilet	0	10	10	none	not required until get to 40 sworn officers
Deputy Chief's Office	0	50	50	none	
closet	0	0	0	none	
	0	0	0	none	

Pembroke Police Department Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	Existing Pembroke	Pembroke Program	Difference	Pembroke Existing Comments	Pembroke Proposed Comments	
Administrative Lieutenant Office	166	1	150	1	-16	not required
closet	0		10		10	locate near records and admin assistant
Administrative Sergeant Office	0		0		0	comm policing / traffic / elder affairs / sro / dare / etc
Prosecutors Office	0	1	150	1	150	shared with detectives
Flexible Office Space w/ cubicles for Specialists	0	0	350	4	350	storage for materials only - no office area
Storage for safety / traffic / dare / etc	0		40		40	not required - use flexible office space
Highway Safety Office	0		0		0	not required - use flexible office space
Elder Services Officer	0		0		0	not required - use flexible office space
Juvenile Officer	0	0	0	1	0	provide juvenile/status offender suite
School Resource Officer	0	0	0	1	0	
Detectives / Prosecutor	345	1	0	4	-345	prosecutor has a desk also - four desks
Detectives	0		350		350	for active cases
detective evidence rm	0		25		25	not required
id + equipment storage	0		0		0	
Detective Sgt / Supervisor Office	0	0	120	1	120	adj to det's, one-way glass, sound + video
Detectives Interview Room	0		120		120	one-way glass w/ rm darkening capacity
Interrogation Viewing	0		0		0	warm décor
Detectives Interview Room (victims)	0		120		120	privacy needed
Sexual Assault/Dom Violence Office	0		120		120	not required
Crime Lab	0		0		0	
Toilet Rooms - 2 @ 50sf	126		100		-26	
Coffee Alcove	52		50		-2	
MIS / IT Office	0		120		120	not required
Admin Subtotal:			2,680		net sq ft	

Pembroke Police Department Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	Existing Pembroke	Pembroke Program	Difference	Pembroke Existing Comments	Pembroke Proposed Comments
Operations					
Operations Lieutenant Office	185	1	150	assumed between chief and corner office	
closet	0		10	none	
Patrol Sergeants	205	5	350	5 plt sgts	
Roll Call / Squad Room	0		275	none	12 at tables + 1 sgt at front desk
Report Writing / Law Library	0		125	none - done in cars	4 stations at counters with forms
Report Forms Storage	80		0	none	not required
Operations Conference Room	0		0	none	not required
Training Room	0		0	converted attic space	use public meeting room
Female Locker Room / Toilet / Shower	260	2	260	located in 'too-tight' basement space	
Male Locker Room / Toilet / Shower	360	14	550	make use of microwave in admin conf	stove, ref, sink, 2 vending
Kitchen / Break	0		200	none	
Physical Training	0		450	hallway closet - no cleaning	provide ventilation, tight tank for solvents
Weapons Cleaning / Armory / SWAT	21		120	in garage	in armory
Patrol Equipment Storage	0		0	none	requested, but expensive
SWAT Storage	0		0	none	
Abandoned Firing Range	0		0	none - at dpw	
Firing Range	0		0		
Animal Control Officer Storage / Office	0		0		
Emergency Management	325		0	also used by pd for training	can use new pd training room
Emergency Ops Center	175		175	0	
Office	130		130	dedicated communications rm	keep separate from dispatch
Communications Rm	100		0	space in basement	can use pd staff lounge
Kitchen	0		100	use inappropriate mech space	
Storage	0		300	none	
Auxiliary PD Office/Storage	0		60		
Union Office	45		15		
Operation Subtotal:			3,255	net sq ft	

Pembroke Police Department Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

Evidence	Existing Pembroke	Pembroke Program	Difference	Pembroke Existing Comments	Pembroke Proposed Comments
Evidence Intake / Processing	0	0	0		adjacent to sallyport and near 'operations'; table, scales, computer, sm sink, secure evidence lockers and refrigerator
Evidence Storage	80	300	220		
generic	0	30	30		
drugs/money/firearms	0	30	30		
refrigerated storage	625	300	-325		adjacent to operations and detention areas
barn/off site/attic					
Evidence Subtotal:					
660 net sq ft					
Detention					
Secure Sallyport	0	910	910	currently use garage - dangerous	not required
Sallyport Evidence Bay	0	0	0	none	separate rm not required
Breathalyzer	0	100	100	located in booking	not required
Holding Cell	0	0	0	none	2 booking stations, prisoner storage
Booking Room / ID	140	400	260	two rms + corridor	3 @ 50sf + 1 hp @ 70; separate corridor from juv and female
Male Detention	150	220	70	no accessible cells	1 @ 50sf + 1 hp @ 70; separate corridor from juv and male
Female Detention	56	120	64	not accessible	1 hp @ 70; combine w/sro and status offender hldg
Juvenile Detention	60	70	10	not accessible	entry off corridor and booking, tv, bolted down furnishings
Juvenile/Female Matron	0	100	100	none	attorney access from corridor, adj to bkg
Status Offender Holding	0	120	120	none	
Attorney/Detainee Interrogation / Bail Comm'r	0	120	120	none	
Interrogation Viewing	0	60	60	none	10 half lockers for prisoners, blankets in bkg rm
Detention Storage	0	0	0	none	off booking, serves all prisoners
Detention Shower/Toilet	0	80	80	none	provide site/sound recording @ saltp't, bk'g, & cells
Detention Subtotal:					
2,300 net sq ft					

Pembroke Police Department Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	Existing Pembroke	Pembroke Program	Difference	Pembroke Existing Comments	Pembroke Proposed Comments
Support Facilities					
Department Bulk/General Storage	250	200	-50	attic space	
Garage / Light Maintenance / Impound / Stor	610	1200	590	acts as Sallyport - dangerous	2 garage bays
Stolen Goods / Vehicle Maint Supply Garage	0	0	0	none	
Bicycle Patrol Garage / Vehicle Maint Supply	0	0	0	none	not required
Mechanic Workroom / Office	0	0	0	none	not required
Archives / Long Term Records Storage	210	300	90	basement space	
Recovered Property	0	600	600	none	bicycles, etc - held for 12 mos.
Future Expansion (unfinished)	0	0	0	none	
Support Subtotal:		2,300			
Physical Plant					
Sprinkler Service / Water Meter Room	0	0	0	none	
Electric Room	0	75	75	in custodial rm	
Emergency Electric Room	0	75	75	none	
IT / Computer Room	96	150	54	computer servers and racks	
Boiler Room	220	250	30	doubles as storage	
Building Maintenance Supplies / Cust Office	415	100	-315	basement custodial space	
Phys Plant Subtotal:		650			
Net Square Footage					
Net Square Footage	6,415	13,940	7,525		
Net to Gross Multiplier	2,885	6,273	3,388		
Total Gross Square Footage	9,300	20,213	10,913		
Net to Gross Ratio	1.45	1.45			

Pembroke Recreation Department and Community Use Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	Existing Net SF (2006)	Programmed Net SF (20 yr need)	Comments
Recreation Dept			
director office	0	0	1
director/clerk/work room	536	3	536
clerk/work room	0		500
playground dir office	80	1	120
multi-purpose/tutorial	200		200
game room	930		1800
crafts room	620		620
day/meeting rm	670		670
fitness room	0		1800
gymnasium	2990		5000
stage	180		400
storage	350		350
storage	400		675
outdoor shed storage	60		60
		4	5
Total: Net Square Footage:	7016	12906	5890
Gross Square Footage	9893	18197	
Net to Gross Ratio	1.41	1.41	

Pembroke Recreation Department and Community Use Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	Existing Net SF (2006)	Programmed Net SF (20 yr need)	Comments
Leased to Hockey			
lower bingo hall (cafeteria)	7180	??	
other ground floor	1320	??	offices, kitchen, etc n/incl toilet rms
upper bingo hall	3200	??	
other upper floor	335	??	office
(hockey = 12035 nsf existing)			
Center Pre-School			
classrooms	2550	??	
office	330	??	
(pre school = 2880 nsf existing)			
Other			
community toy room	640	??	
food pantry	920	??	
adelphia cable co	815	??	
disability commission	250	??	
ted williams baseball storage	250	??	under stage
pop warner football storage	250	??	under stage
(other = 2135 nsf existing)			
Total: Net Square Footage:	18040		
Gross Square Footage	25436		
Net to Gross Ratio	1.41		

Pembroke Senior Center Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

	Existing Net SF (2006)	Interim Net SF (w/ addition)	Programmed Net SF (20 yr need)	Comments
First Floor				
vestibule	35	45	45	
lobby	480	355	350	
storage closet	20	20	20	
accessible toilet	0	50	50	
reception counter	90	90	120	
gift shop/crafts display	0	0	100	
visiting doctor	0	65	80	
multi-purpose rm	885	885	1800	divisible into 3 or 4 program rooms
platform	200	200	200	
storage	40	40	160	individual 40 sf closets for program needs
kitchen	370	370	370	existing size is adequate - warming kitchen
dry storage	0	0	60	
trash room	0	0	60	
kitchen toilet rm	35	35	50	accessible
lunch rm	0	585	750	serve 50 @ 15sf/person (serves 20 now)
friends storage	65	0	100	
large meeting rm #1	460	460	460	
large meeting rm #2	0	0	460	
computer lab	0	0	900	set up permanently with computer equipment
exercise rm	0	0	900	set up permanently with exercise equipment
private mtg rms	0	0	240	3 @ 80 for visiting professionals
administrative office	295	295	600	
storage	25	90	180	
director office	205	205	205	
Basement				
mechanical and storage	900	900	900	includes 400 mech and 500 storage
Total: Net Square Footage:	4105	4690	9160	
Gross Square Footage	4690	5358	11450	Say 12,000 gsf for 20 yr program need (low according to state standards)
Net to Gross Ratio	1.14	1.14	1.25	

Pembroke Senior Center Space Program

Pembroke Community Center Study
CBI/RDA Architects

May 3, 2006

(Revised for inclusion in final report August 10, 2006)

Miscellaneous

Senior Ctr would make use of a gymnasium if one was available
Existing gsf = 4,690, of which 960 gsf is unusable basement, leaving 3,730 usable gsf presently
Interim' gsf (including proposed lunch rm) = 4,480 usable gsf
New Senior Centers average 6 sf/elderly person according to COA Director, in order to qualify for building grants from the commonwealth
Present day elderly population is 2,400, and it's projected to double over the next ten to twenty years
4,800 projected elderly population x 6 sf/person = 28,800 gsf within twenty years
28,800 gsf would project to a 7.72 fold increase in usable gsf over what exists now
28,800 gsf would project to a 6.42 fold increase in usable gsf over proposed interim usable gsf

DEVELOPMENT OPTIONS

Overview of Development Options A - F

Pembroke Community Center Study
CBI/RDA Architects

September 29, 2006

(Revised from May 3, '06 Draft # 3 for inclusion in final report)

BOLD/italic = Additions or New Constr

		Option A.1	Option A.2	Option B	Option C	Option D
Municipal Offices	Required GSF 18,582	Proposed GSF (all @ town hall)	Proposed GSF (all @ town hall)	Proposed GSF (split: t hall + pd)	Proposed GSF (split: t hall + low'r cc)	Proposed GSF w/altic (all @ rear of cc)
town hall - 1st floor		6465	6465	6465	6465	0
town hall - 2nd floor		6465	6465	6465	6465	0
town hall - renovate attic		3800	0	0	0	0
addition at town hall		2000	5800	0	0	0
permitting depts to police bldg		0	0	9300	0	0
permitting depts to lower comm'ty ctr rear		0	0	0	10000	10000
renovate upper comm'ty ctr rear		0	0	0	0	10000
renovate upper comm'ty ctr front		0	0	0	0	0
		0	0	0	0	0
		0	0	0	0	0
total		18,730	18,730	22,230	22,930	20,000

Recreation Dept & Other Community Uses	Required GSF 18,197	Proposed GSF (share upper cc w/coa)	Proposed GSF (share upper cc w/coa)	Proposed GSF (upper cc w/ add't'n)	Proposed GSF (upper cc w/ add't'n)	Proposed GSF (front of comm'ty ctr)
Recreation						
add gymnasium/stage @ comm'ty ctr low		6500	6500	6500	6500	6500
renovate lower comm'ty ctr rear		0	0	0	0	0
renovate upper comm'ty ctr front		12100	12100	11697	11697	11697
new building		0	0	0	0	0
subtotal - recreation		18,600	18,600	18,197	18,197	18,197
Other Community Use						
community aud @ comm'ty ctr gym		0	0	0	0	0
center presch @ comm'ty ctr		0	0	4061	0	0
food pantry @ existg snr ctr		920	920	920	920	920
adelphia @ existing snr ctr		815	815	815	815	815
toy room @ existing snr ctr		640	640	640	640	640
hockey @ upper comm'ty ctr rear		0	0	0	0	0
hockey @ lower comm'ty ctr rear		9000	9000	0	0	0
subtotal - other uses		11,375	11,375	6,436	2,375	2,375

BOLD/italic = Additions or New

		Option A.1	Option A.2	Option B	Option C	Option D
Police Dept	Required GSF 20,213	Proposed GSF (add/reno @ pd)	Proposed GSF (new station) (demo exist'g pd)	Proposed GSF (rear of comm'ty ctr)	Proposed GSF (new station) (demo exist'g pd)	Proposed GSF (new station) (demo exist'g pd)
renovate 1st floor		4200	0	0	0	0
renovate 2nd floor		2400	0	0	0	0
renovate basement		2700	0	0	0	0
addition		11000	0	0	0	0
new police station		0	20000	0	20000	20000
renovate lower comm'ty ctr rear		0	0	10000	0	0
renovate upper comm'ty ctr rear		0	0	10000	0	0
town hall - 1st floor		0	0	0	0	0
town hall - 2nd floor		0	0	0	0	0
addition at town hall		0	0	0	0	0
total		20,300	20,000	20,000	20,000	20,000

Senior Ctr / COA	Required GSF 11,450	Proposed GSF (share upper cc w/rec)	Proposed GSF (share upper cc w/rec)	Proposed GSF (@ new building)	Proposed GSF (share upper cc w/rec)	Proposed GSF (@ exist town hall) (decommission exist'g)
upper comm'ty ctr front		11450	11,450	0	11450	0
new building		0	0	11450	0	0
renovate existing town hall 1st fl		0	0	0	0	6465
renovate existing town hall 2nd fl		0	0	0	0	6465
total		11,450	11,450	11,450	11,450	12,930

Total Proposed GSF:	80,455	80,155	78,313	74,952	73,502
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Overview of Development Options A - F

Pembroke Community Center Study
CBI/RDA Architects

September 29, 2006

(Revised from May 3, '06 Draft # 3 for inclusion in final report)

BOLD/Italic = Additions or New

		Option E1 / E2	Option F.1	Option F.2	Option F.3
		(Option E2: sub 2 story comm'ty ctr for 1 story)			
Municipal Offices	Required GSF 18,582	Proposed GSF (all @ upper cc)	Proposed GSF (front of cc w/ addition)	Proposed GSF (front of cc w/ addition) (decommission exist'g)	Proposed GSF (all @ th w/ addition)
town hall - 1st floor		0	0	0	6465
town hall - 2nd floor		0			6465
town hall - renovate attic		0	0	0	0
addition at comm. cntr.		0	4000	4000	5800
permitting depts to police bldg		0	0	0	0
permitting depts to lower comm'ty ctr rear		0	0	0	0
renovate upper comm'ty ctr rear		10000	0	0	0
renovate upper comm'ty ctr front		10000	14000	14000	0
		0	0	0	0
		0	0	0	0
total		20,000	18,000	18,000	18,730

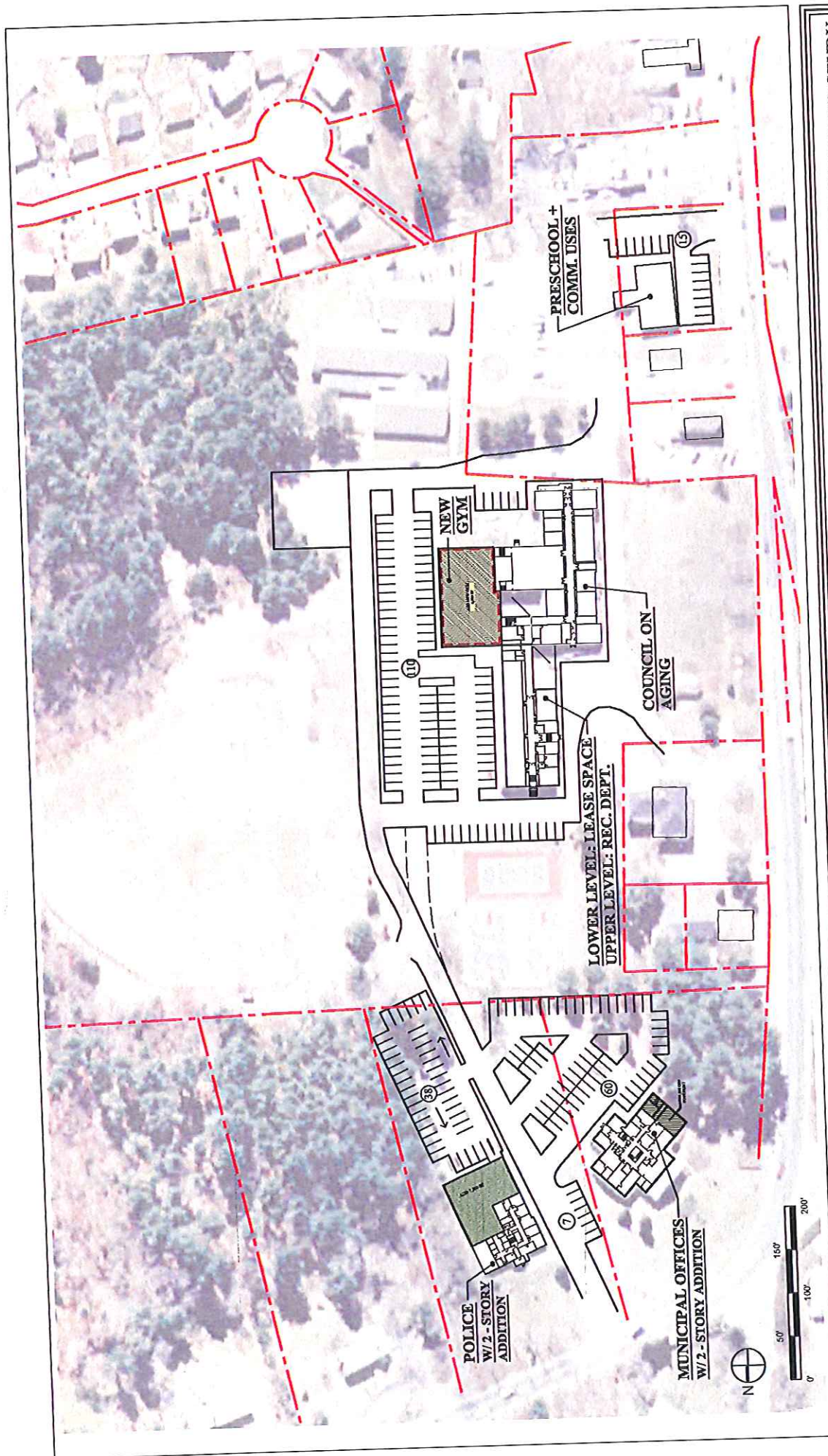
Recreation Dept & Other Community Uses	Required GSF 18,197	Proposed GSF (@ new building)	Proposed GSF (@ new building)	Proposed GSF (@ new building)	Proposed GSF (@ new building)
Recreation					
add gymnasium/stage @ comm'ty ctr low		0	0	0	0
renovate lower comm'ty ctr rear		0	0	0	0
renovate upper comm'ty ctr front		0	0	0	0
new building		18000	18000	18000	18000
subtotal - recreation		18,000	18,000	18,000	18,000
Other Community Use					
community aud @ comm'ty ctr gym		4000	0	0	0
center presch @ new rec/coa (pd in Opt E + F.1)		4061	4061	4061	4061
food pantry @ new rec/coa (pd in Opt E + F.1)		920	920	920	920
adelphia @ new rec/coa (pd in Opt E + F.1)		815	815	815	815
toy room @ new rec/coa (pd in Opt E + F.1)		640	640	640	640
hockey @ upper comm'ty ctr rear		0	0	0	0
hockey @ lower comm'ty ctr rear		10000	0	0	0
subtotal - other uses		20,436	6,436	6,436	6,436

BOLD/Italic = Additions or New

		Option E1 + E2	Option F.1	Option F.2	Option F.3
Police Dept	Required GSF 20,213	Proposed GSF (exist'g t.h. w/ addition)	Proposed GSF (exist'g t.h. w/ addition)	Proposed GSF (new station) (demo exist'g pd)	Proposed GSF (new station) (demo exist'g pd)
renovate 1st floor		0	0	0	0
renovate 2nd floor		0	0	0	0
renovate basement		0	0	0	0
addition		0	0	0	0
new police station		0	0	20000	20000
renovate lower comm'ty ctr rear		0	0	0	0
renovate upper comm'ty ctr rear		0	0	0	0
town hall - 1st floor		6465	6465	0	0
town hall - 2nd floor		6465	6465	0	0
addition at town hall		7600	7600	0	0
total		20,530	20,530	20,000	20,000

Senior Ctr / COA	Required GSF 11,450	Proposed GSF (@ new building) (decommission exist'g)	Proposed GSF (@ new building) (decommission exist'g)	Proposed GSF (@ new building) (decommission exist'g)	Proposed GSF (@ new building) (decommission exist'g)
upper comm'ty ctr front		0	0	0	0
new building		11450	11450	11450	11450
renovate existing town hall 1st fl		0	0	0	0
renovate existing town hall 2nd fl		0	0	0	0
total		11,450	11,450	11,450	11,450

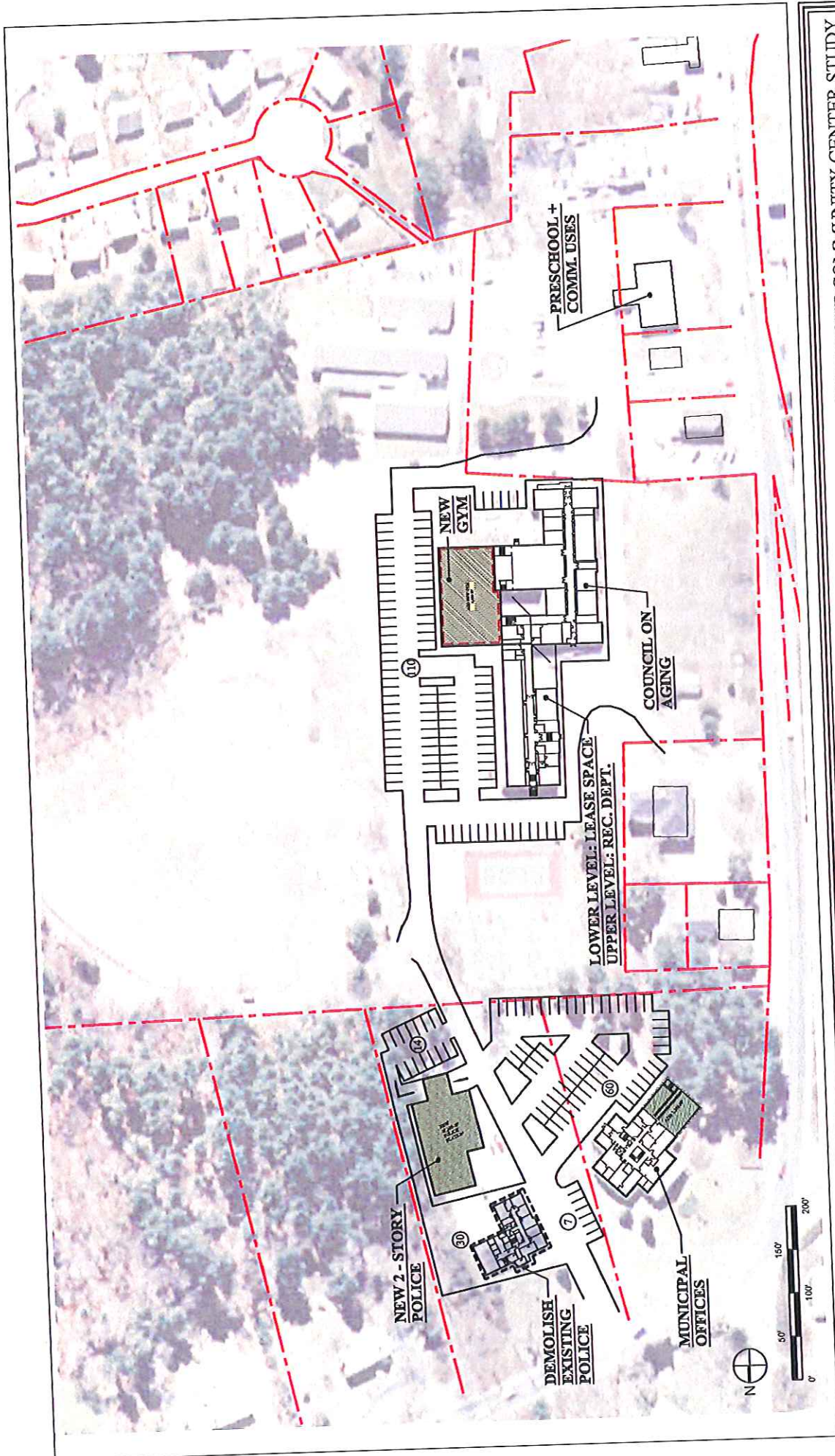
Total Proposed GSF: 90,416 74,416 73,886 74,616



PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

OPTION A-1 SITE PLAN
JULY 7, 2006

CBI / RDA
Consulting Inc. Raymond Design Associates, Inc.

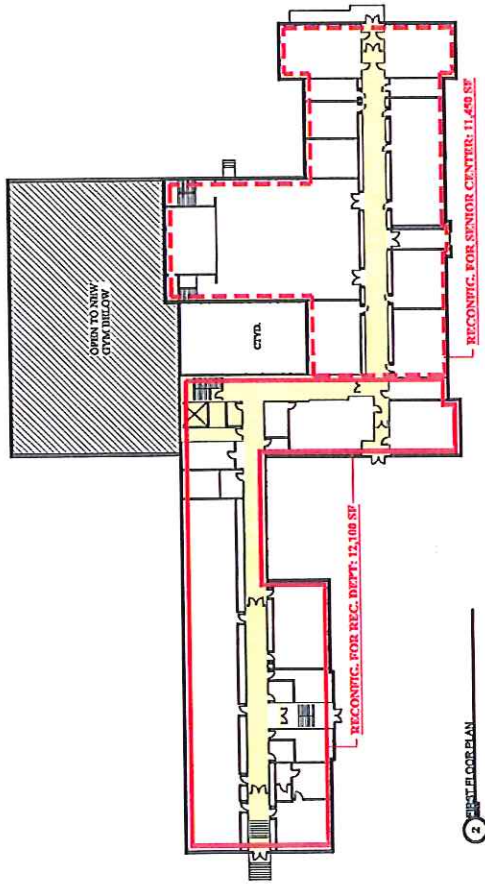


PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

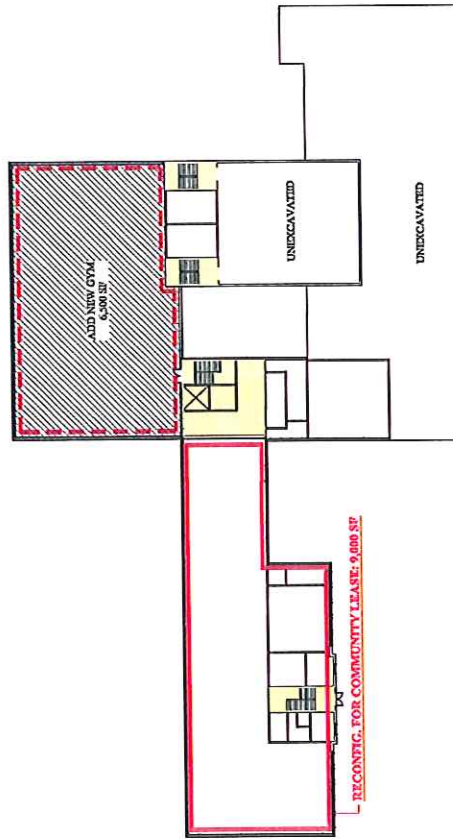
OPTION A-2 SITE PLAN
JULY 7, 2006

CBI / RDA
Consulting, Inc. Raymond Design Associates, Inc.

COMMUNITY CENTER BLDG.

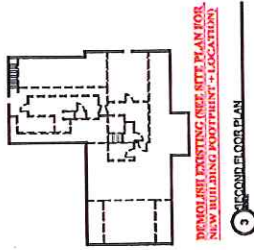


1 FIRST FLOOR PLAN

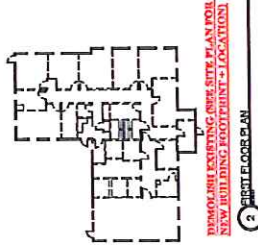


2 SECOND FLOOR PLAN

POLICE DEPT. BLDG.

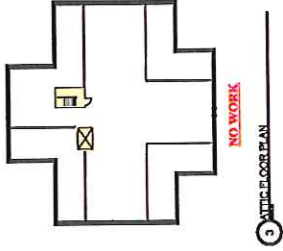


1 FIRST FLOOR PLAN

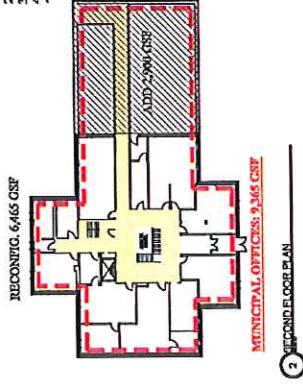


2 SECOND FLOOR PLAN

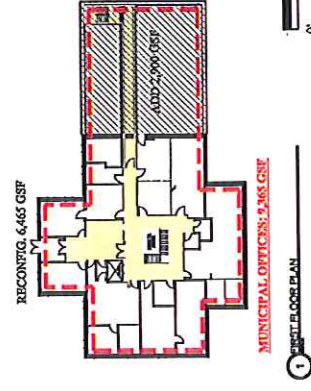
TOWN HALL BLDG.



1 FIRST FLOOR PLAN

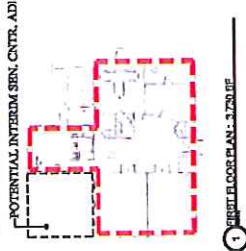


2 SECOND FLOOR PLAN



3 THIRD FLOOR PLAN

COUNCIL ON AGING BLDG.



1 FIRST FLOOR PLAN - 1,720 SF

RECONFG. FOR COMM. UNITS:
1. COMMUNITY PRESCHOOL
(2,800 SF EXIST.)

AND/OR:

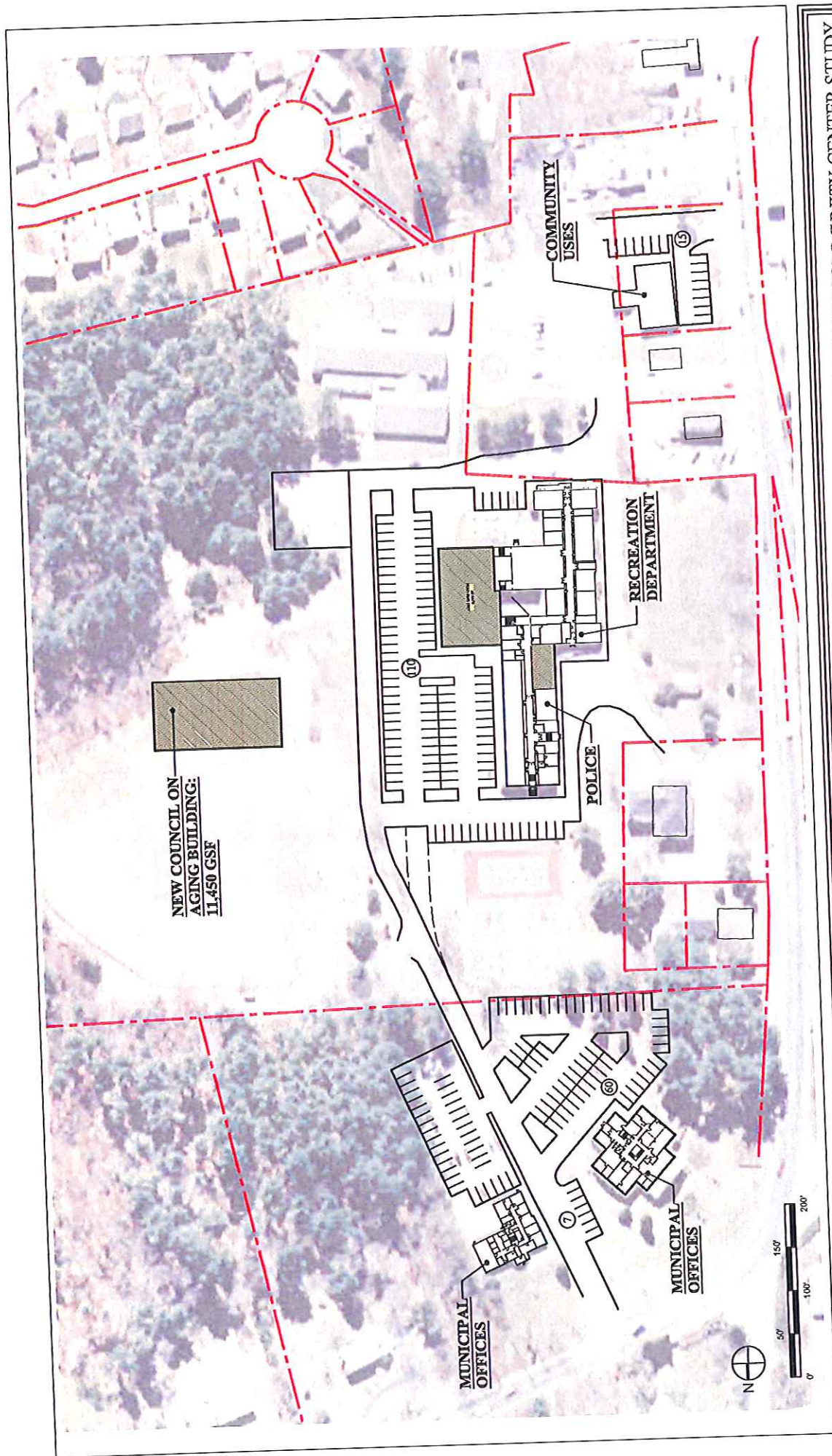
2. FOOD: 920 SF
3. ADULT: 815 SF
4. TOYS: 650 SF



OPTION A.2 - NEW POLICE STATION

JUNE 7, 2006

PEMBROKE COMMUNITY CENTER STUDY PEMBROKE, MASSACHUSETTS

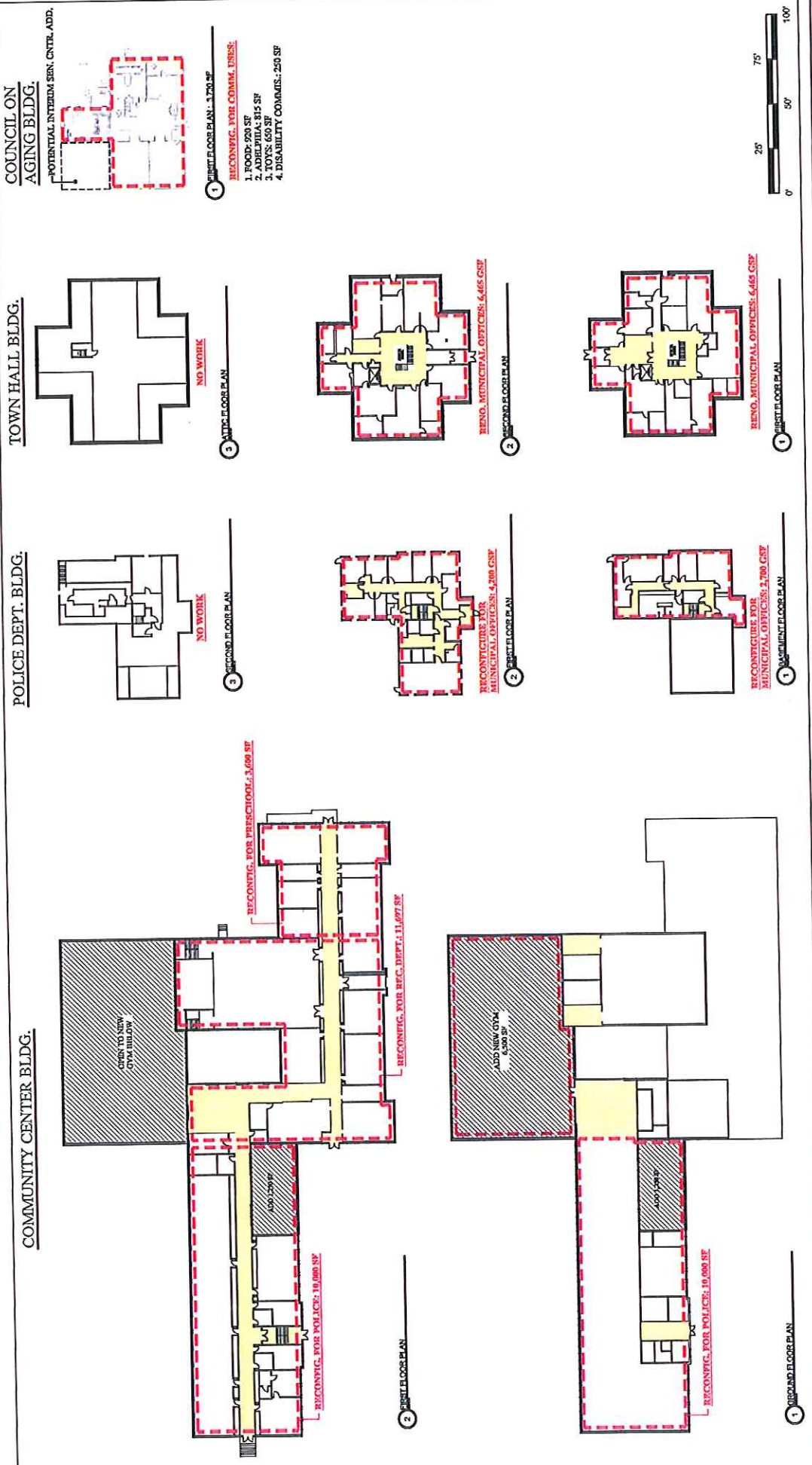


PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

OPTION B SITE PLAN

JULY 7, 2006

CBI / RDA
Consulting Inc. Raymond Design Associates, Inc.



COUNCIL ON
AGING BLDG.

TOWN HALL BLDG.

POLICE DEPT. BLDG.

COMMUNITY CENTER BLDG.

POTENTIAL INTERIM SEN. CNTR. ADD.
1. FIRST FLOOR PLAN: 3,720 SF
RECONFIG. FOR COMM. USE:
1. FOOD: 220 SF
2. ADULT PHLA: 815 SF
3. TOYS: 650 SF
4. DISABILITY COMMIS.: 250 SF

NO WORK

3. FIRST FLOOR PLAN

RENO. MUNICIPAL OFFICES: 6,465 GSF

2. SECOND FLOOR PLAN

RENO. MUNICIPAL OFFICES: 6,465 GSF

1. FIRST FLOOR PLAN

RECONFIGURE FOR
MUNICIPAL OFFICES: 4,380 GSF

2. FIRST FLOOR PLAN

RECONFIGURE FOR
MUNICIPAL OFFICES: 2,700 GSF

1. FIRST FLOOR PLAN

RECONFIG. FOR PRESCHOOL: 3,408 SF

RECONFIG. FOR REC. DEPT.: 11,607 SF

2. FIRST FLOOR PLAN

ADD NEW OTOL
6,300 SF

RECONFIG. FOR POLICE: 10,000 SF

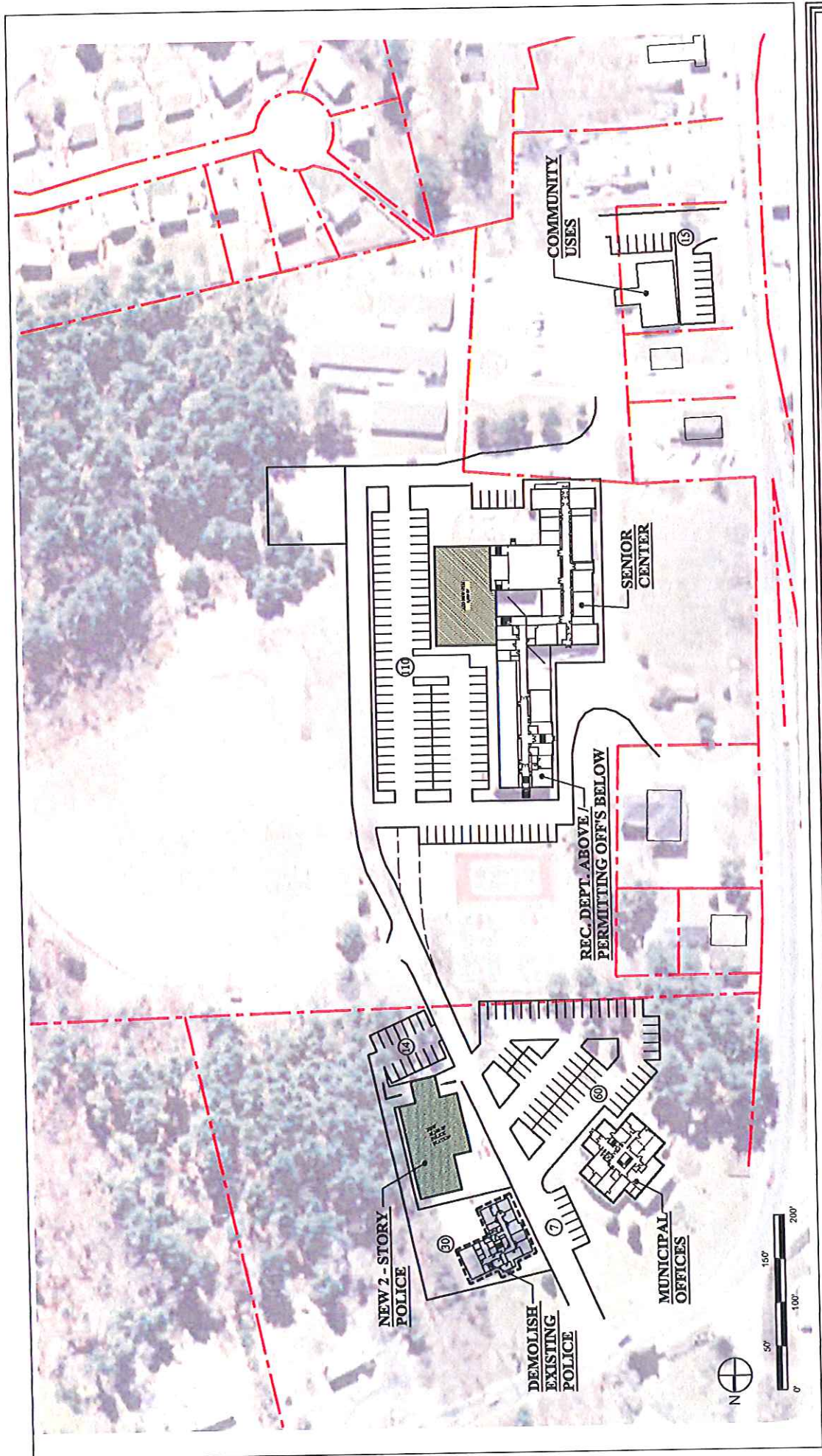
1. SECOND FLOOR PLAN



PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

OPTION B - NEW SENIOR CENTER BLDG.
JUNE 7, 2006

CBI / RDA
Raymond Design Associates, Inc.
Consulting Inc.



PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

OPTION C SITE PLAN
JULY 7, 2006

CBI / RDA
Consulting, Inc.
Raymond Design Associates, Inc.

COUNCIL ON
AGING BLDG.

POTENTIAL INTERIM SEN. CNTR. ADD.



FIRST FLOOR PLAN - 3,730 SF

1. COMMUNITY PRESCHOOL
(2,800 SF EXIST.)

AND/OR:

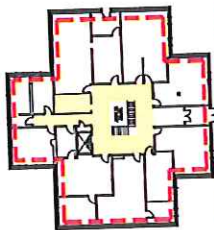
2. FOOD: 920 SF
3. ADLPHIA: 815 SF
4. TOYS: 650 SF
5. DISASTER RELIEF: 750 SF

TOWN HALL BLDG.



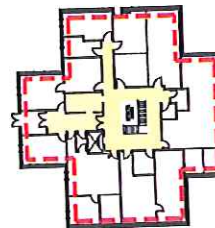
NO WORK

GATTIC FLOOR PLAN



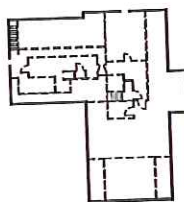
RENO, MUNICIPAL OFFICERS: 6,465 GSF

2 SECOND FLOOR PLAN



THE

POLICE DEPT. BLDG.



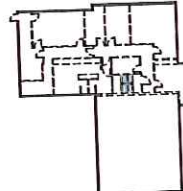
THE MEXICAN AND CHINESE JOURNAL

SECOND FLOOR PLAN



MEMOIR THE EXISTING ONE. WITH PLAIN FOR-

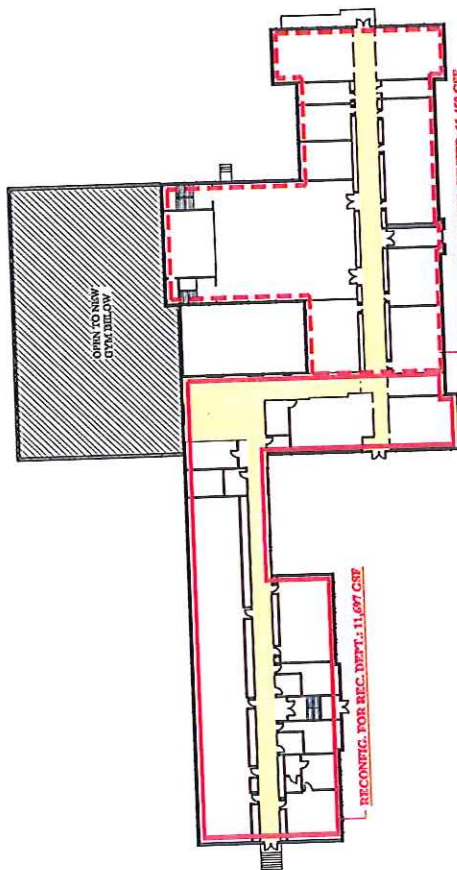
2 FIRST FLOOR PLAN



11

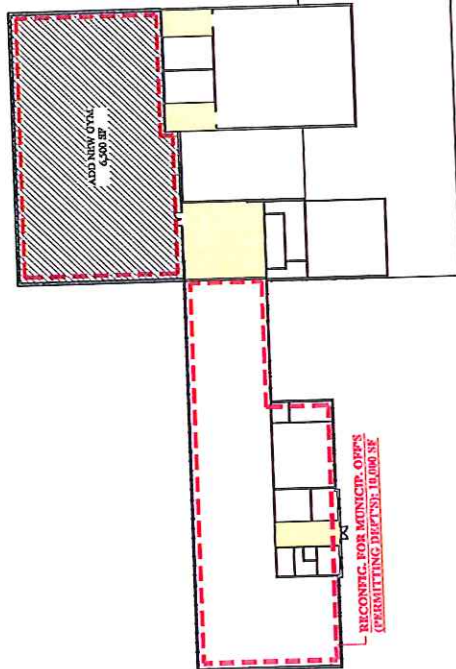
INTERNATIONAL CENTER FOR THE AMERICAN

COMMUNITY CENTER BLDG.



11,150 CSE

2 FIRST FLOOR PLAN



—COUNTING FOR MUNICIPAL OFFICIALS

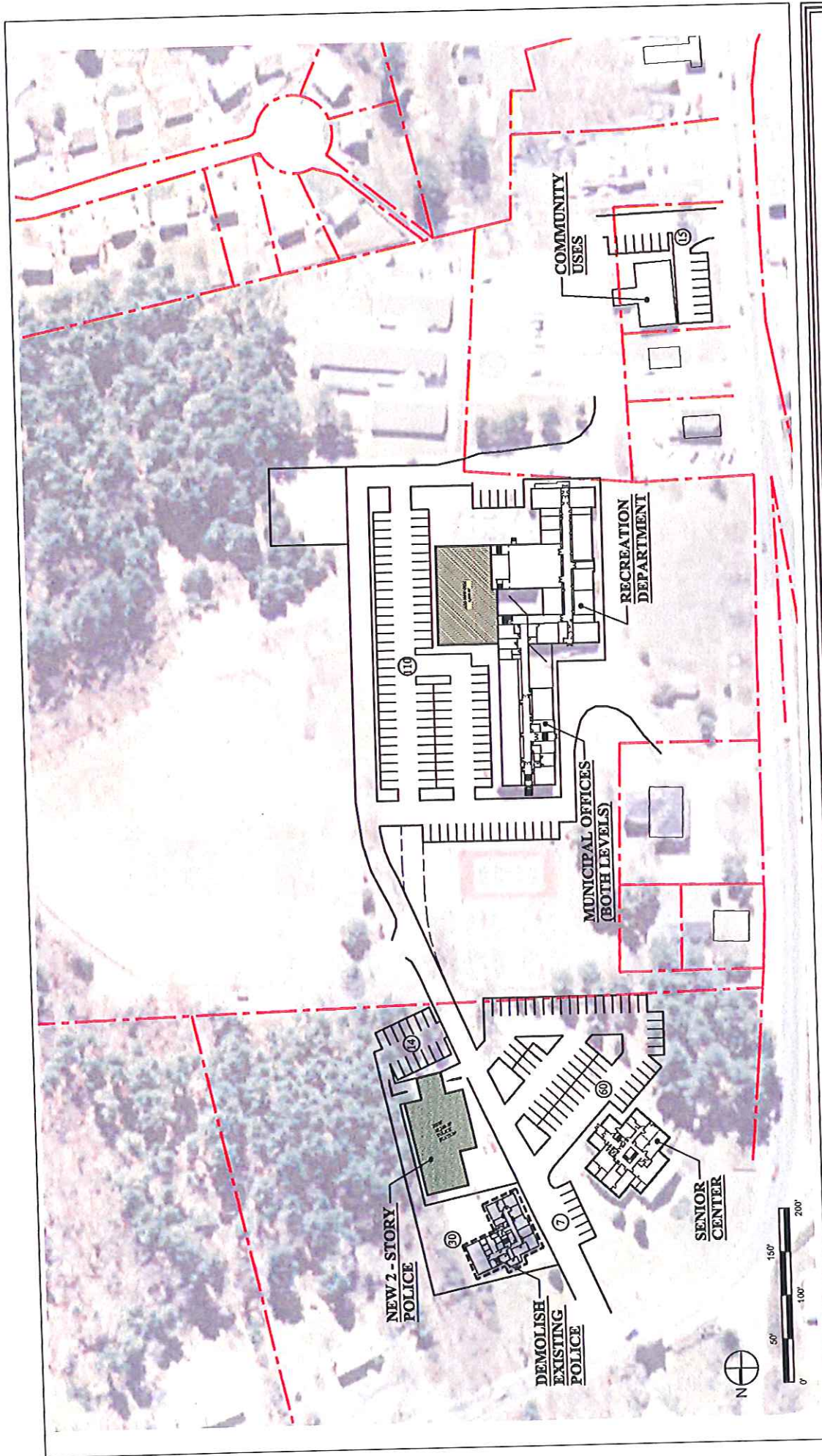
GROUND FLOOR PLAN

PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

OPTION C - NEW POLICE STATION

JUNE 7, 2006

CBI / RDA



PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

OPTION D SITE PLAN
JULY 7, 2006

CBI / RDA
Consulting Inc. Raymond Design Associates, Inc.

**COUNCIL ON
AGING BLDG.**



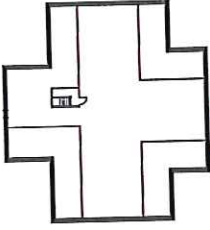
1 FIRST FLOOR PLAN - 3,720 SF

RECONFG. FOR COMM. USE:
1. COMMUNITY PRESCHOOL
(2,400 SF EXIST.)

AND/OR:

2. FOOD: 220 SF
3. ADULT PHA: 812 SF
4. TOYS: 650 SF
5. DISABILITY COUNSEL: 250 SF

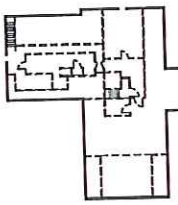
TOWN HALL BLDG.



NO WORK

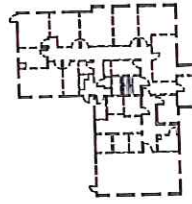
3 THIRD FLOOR PLAN

POLICE DEPT. BLDG.



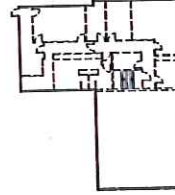
RECONFG. FOR COMM. USE: 15,000 SF
NEW BUILDING: 10,000 SF (LOCAL USE)

3 SECOND FLOOR PLAN



RECONFG. FOR COMM. USE: 15,000 SF
NEW BUILDING: 10,000 SF (LOCAL USE)

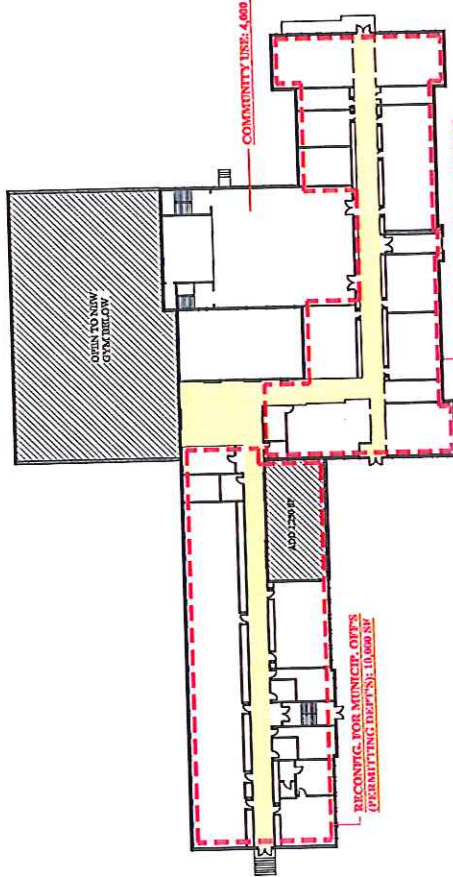
2 FIRST FLOOR PLAN



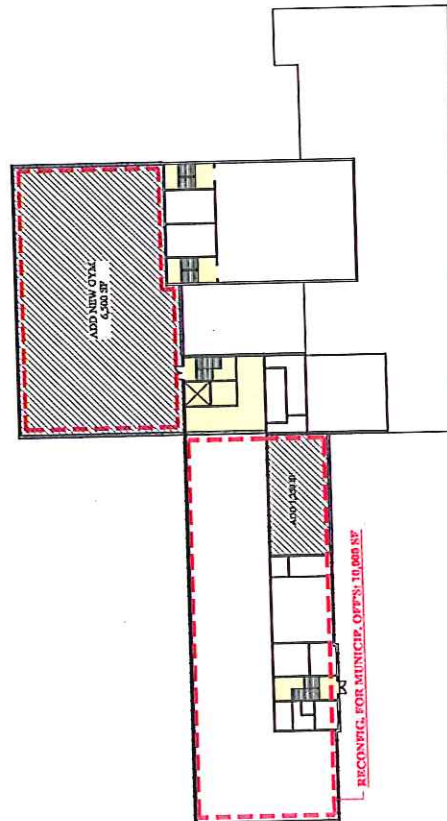
RECONFG. FOR COMM. USE: 15,000 SF
NEW BUILDING: 10,000 SF (LOCAL USE)

1 SECOND FLOOR PLAN

COMMUNITY CENTER BLDG.



2 FIRST FLOOR PLAN



1 SECOND FLOOR PLAN

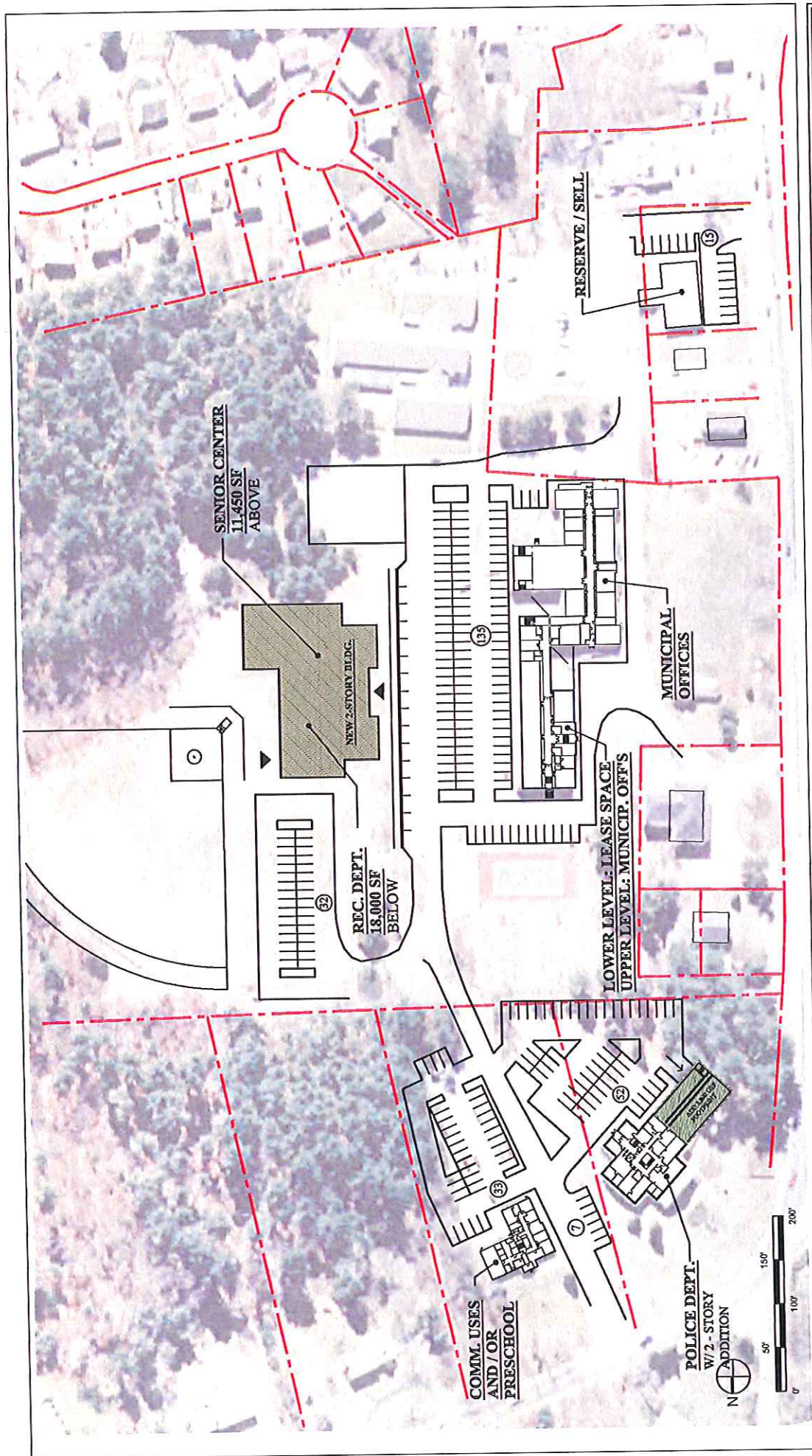


**PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS**

OPTION D - NEW POLICE STATION

JUNE 7, 2006

CIBI / RDA
Raymond Design Associates, Inc.
Consulting, Inc.

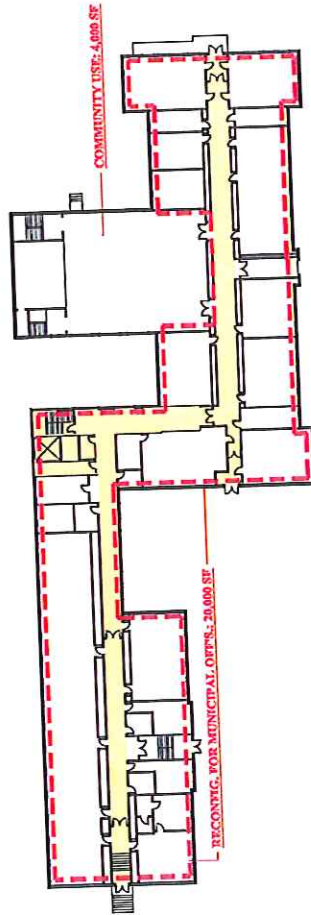


PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

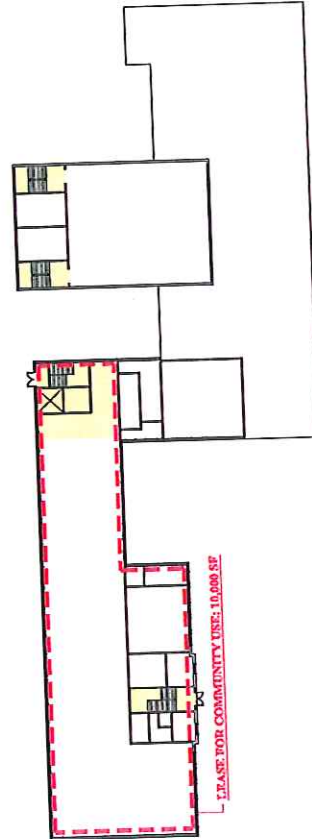
OPTION E-1 SITE PLAN
JULY 7, 2006

CBI / RDA
Raymond Design Associates, Inc.
Consulting Inc.

COMMUNITY CENTER BLDG.

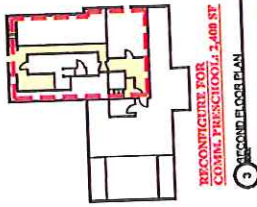


1 FIRST FLOOR PLAN

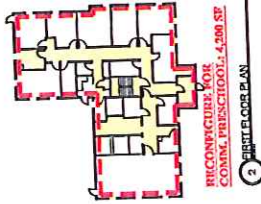


2 SECOND FLOOR PLAN

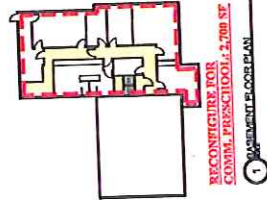
POLICE DEPT. BLDG.



1 FIRST FLOOR PLAN

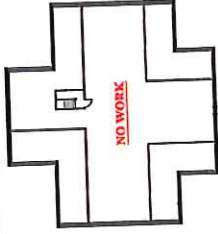


2 SECOND FLOOR PLAN

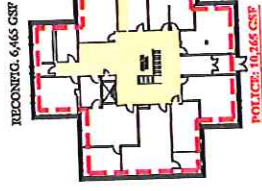


1 FIRST FLOOR PLAN

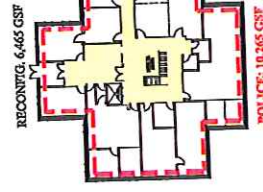
TOWN HALL BLDG.



1 FIRST FLOOR PLAN



2 SECOND FLOOR PLAN



1 FIRST FLOOR PLAN

COUNCIL ON AGING BLDG.



1 FIRST FLOOR PLAN

- RECONFG. FOR COMM. USE:
1. FOOD: 720 SF
 2. ADULT: 815 SF
 3. TOYS: 600 SF
 4. DISABILITY COMMS.: 250 SF

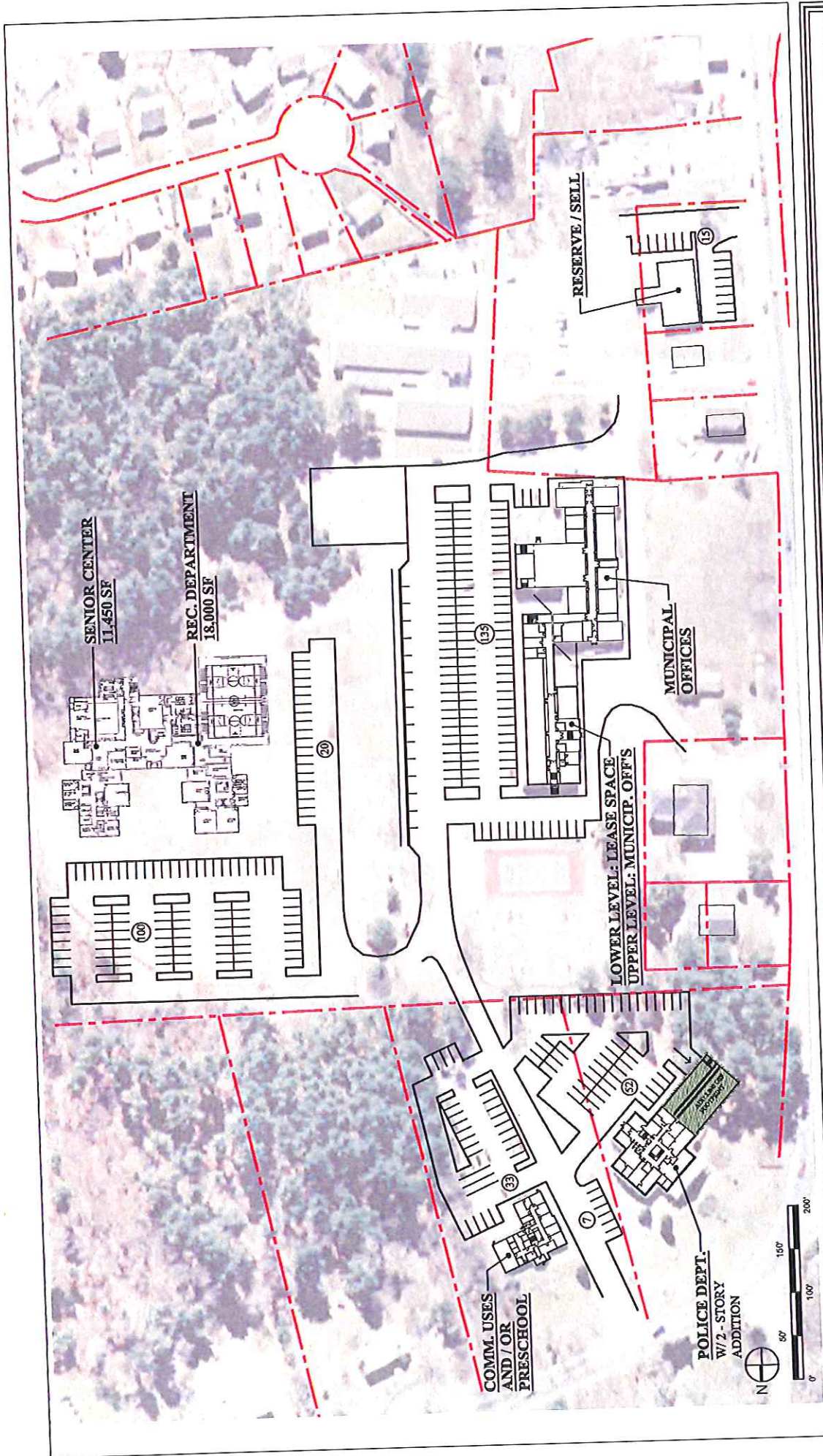


OPTION E.1 - NEW SENIOR / REC. CENTER

JUNE 7, 2006

PEMBROKE COMMUNITY CENTER STUDY

PEMBROKE, MASSACHUSETTS

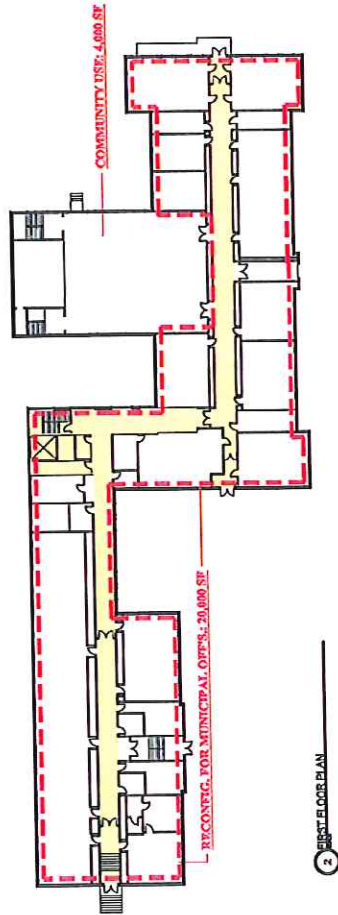


PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

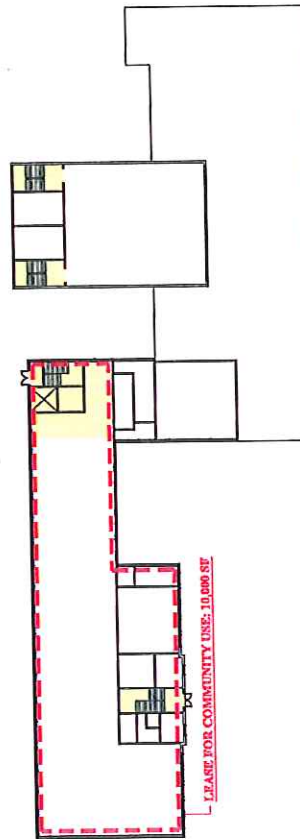
OPTION E-2 SITE PLAN
JUNE 15, 2006

CBI / RDA
Consulting, Inc. Raymond, Design Associates, Inc.

COMMUNITY CENTER BLDG.

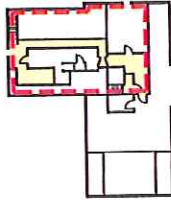


② FIRST FLOOR PLAN



③ SECOND FLOOR PLAN

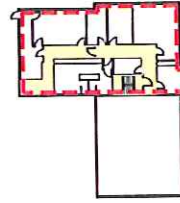
POLICE DEPT. BLDG.



② SECOND FLOOR PLAN

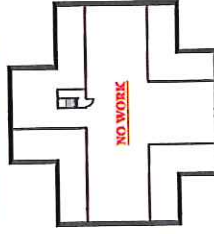


③ FIRST FLOOR PLAN



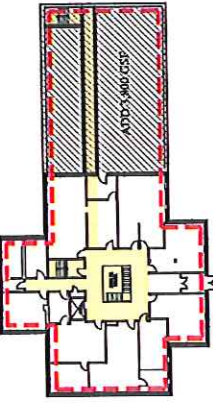
② SECOND FLOOR PLAN

TOWN HALL BLDG.



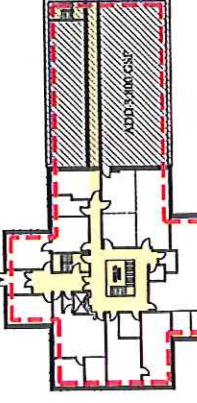
② SECOND FLOOR PLAN

RECONFG. 6,465 GSF



③ FIRST FLOOR PLAN

RECONFG. 6,465 GSF



③ FIRST FLOOR PLAN

COUNCIL ON AGING BLDG.



② SECOND FLOOR PLAN

RECONFG. FOR COMM. USES:
1. FOOD: 920 SF
2. ADULT: 815 SF
3. TOYS: 650 SF
4. DISABILITY COMMS.: 250 SF



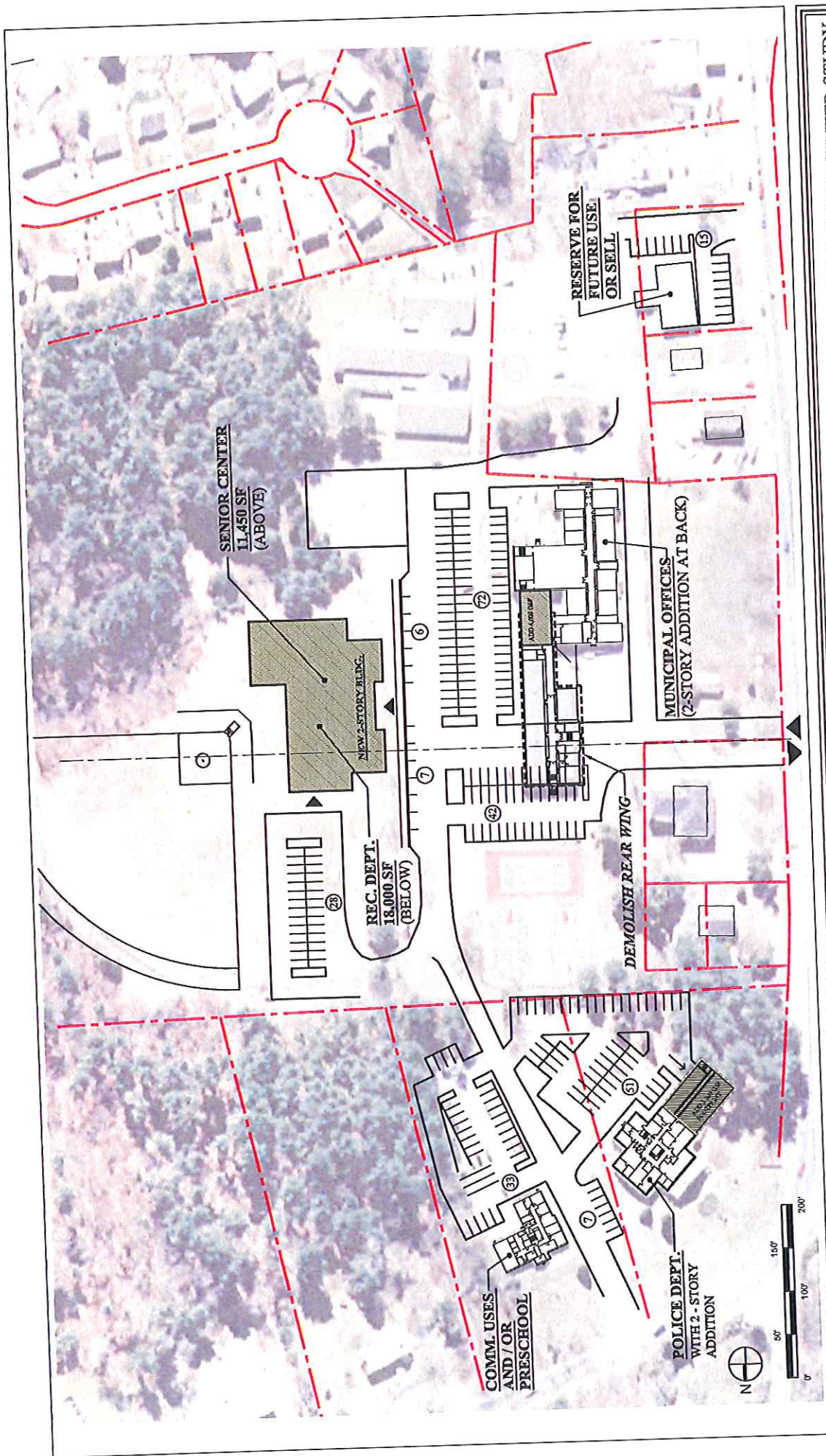
PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

OPTION E.2 - NEW 1-STORY SENIOR / REC. CENTER

JUNE 7, 2006

CBI / RDA
Consulting Inc.

Raymond Design Associates, Inc.

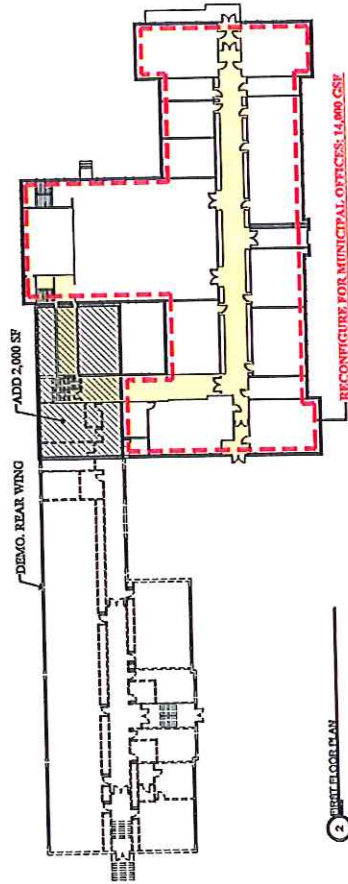


PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

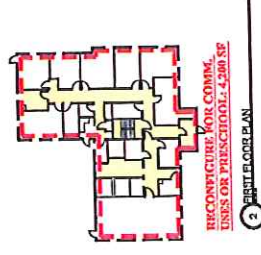
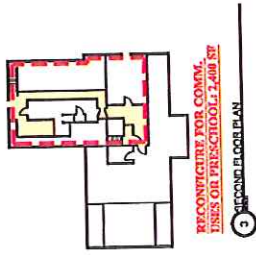
OPTION F.1 SITE PLAN -
DEMOLISH REAR WING @ COMM. CNTR.
JUNE 7, 2006

CBI / RDA
Raymond Design Associates, Inc.
Consulting Inc.

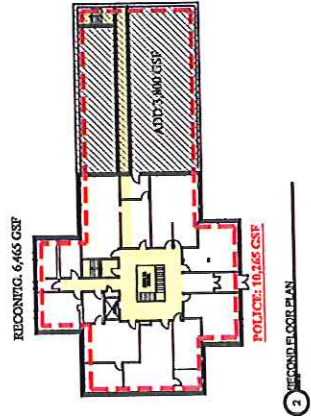
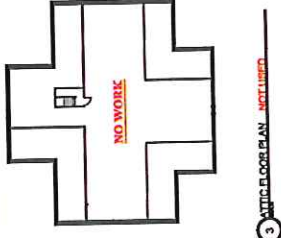
COMMUNITY CENTER BLDG.



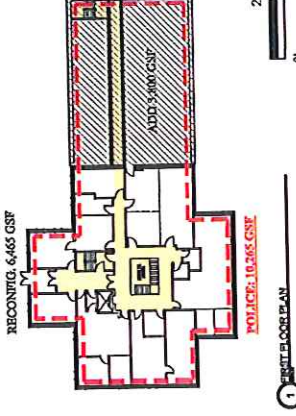
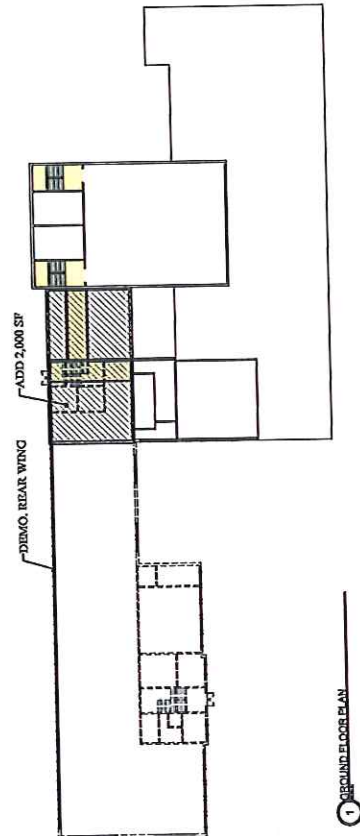
POLICE DEPT. BLDG.



TOWN HALL BLDG.



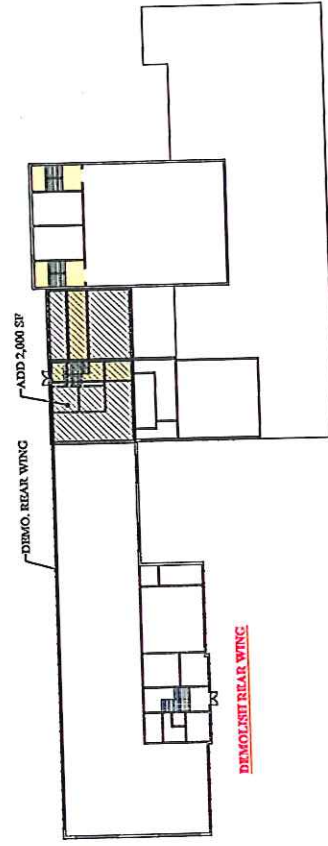
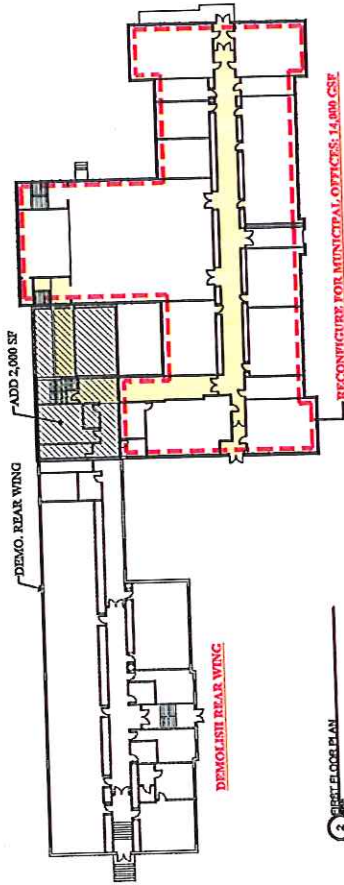
COUNCIL ON AGING BLDG.



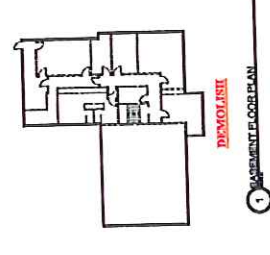
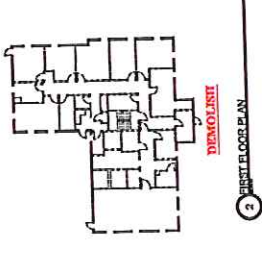
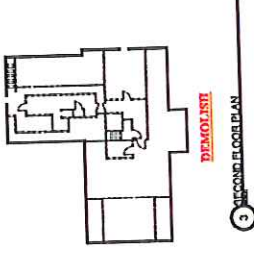
PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

OPTION F.1
JUNE 7, 2006

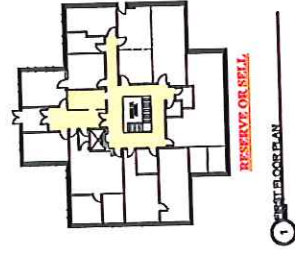
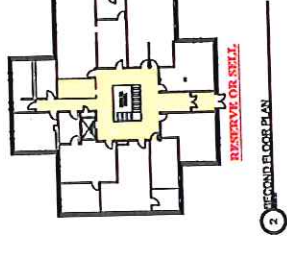
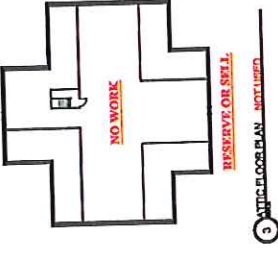
COMMUNITY CENTER BLDG.



POLICE DEPT. BLDG.



TOWN HALL BLDG.



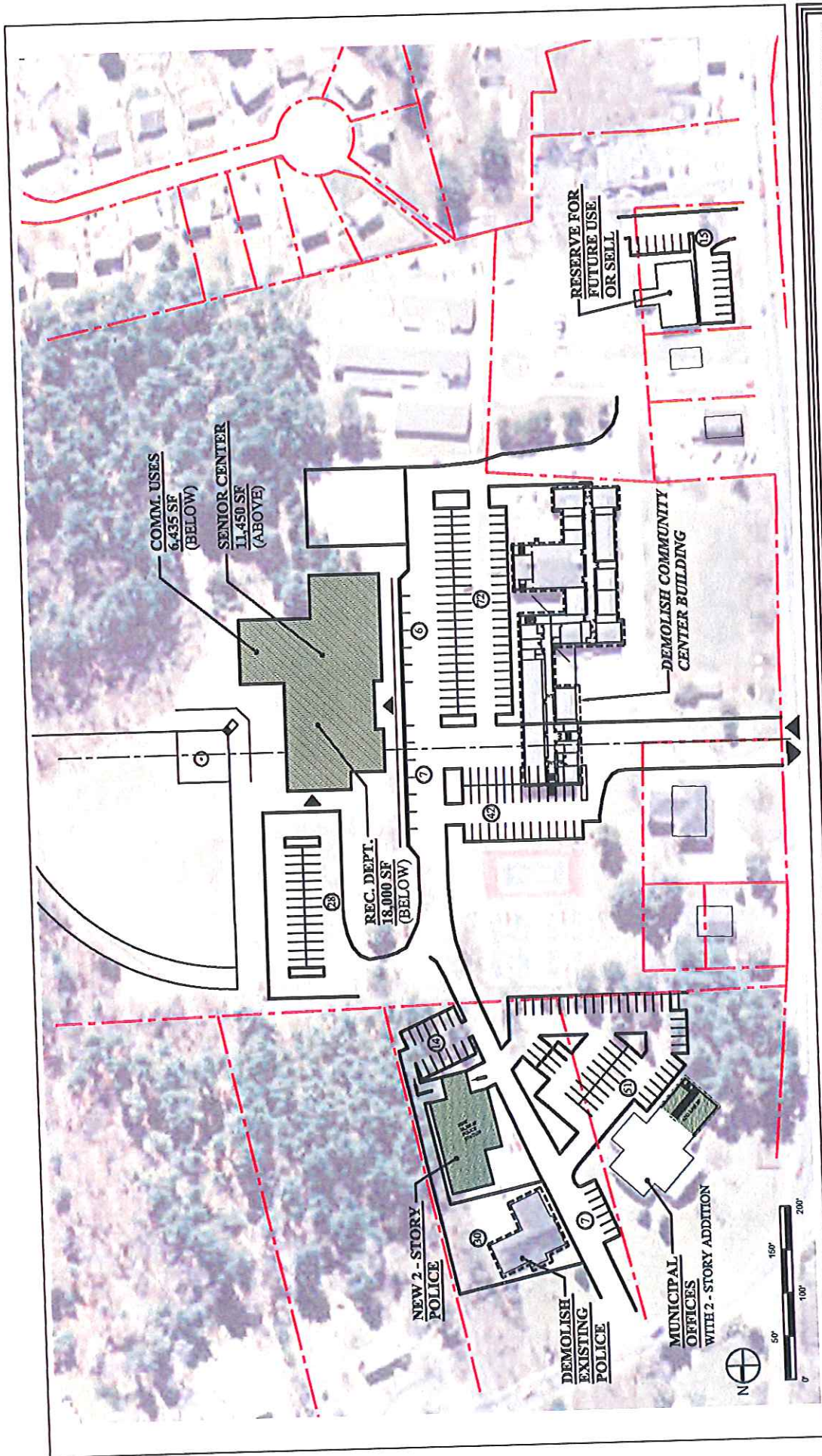
COUNCIL ON AGING BLDG.



OPTION F.2 - NEW POLICE STATION

AUGUST 24, 2006

PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

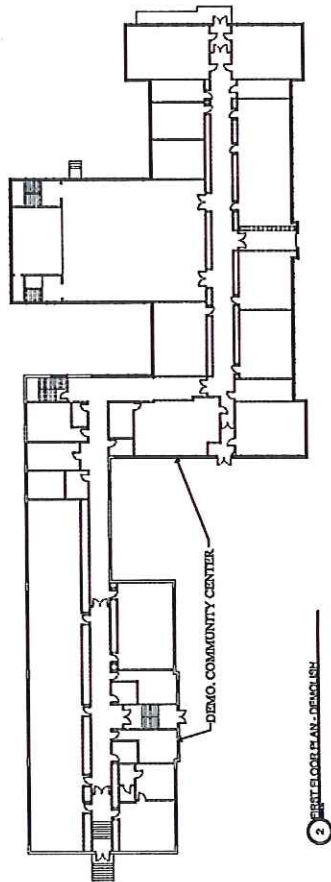


PEMBROKE COMMUNITY CENTER STUDY
PEMBROKE, MASSACHUSETTS

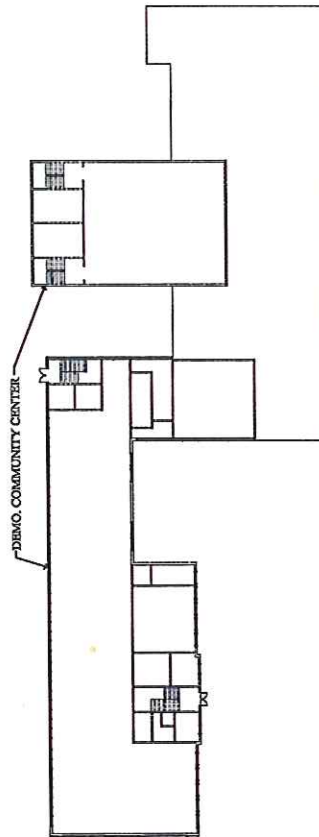
OPTION F.3 SITE PLAN -
DEMOLISH COMMUNITY CENTER BLDG.
AUGUST 24, 2006

CBI / RDA
Consulting Inc. Raymond Design Associates, Inc.

COMMUNITY CENTER BLDG.

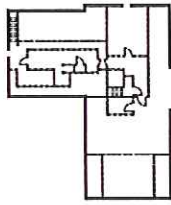


2 FIRST FLOOR PLAN - DEMO (PH)



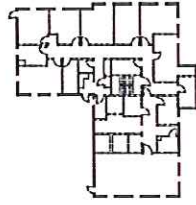
1 SECOND FLOOR PLAN - DEMO (PH)

POLICE DEPT. BLDG.



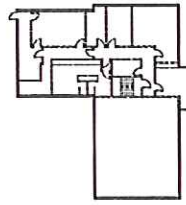
DEMOLISH

3 SECOND FLOOR PLAN



DEMOLISH

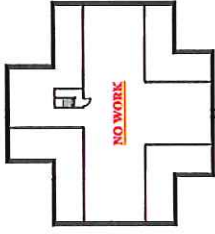
2 FIRST FLOOR PLAN



DEMOLISH

1 FIRST FLOOR PLAN

TOWN HALL BLDG.



NO WORK

NO WORK

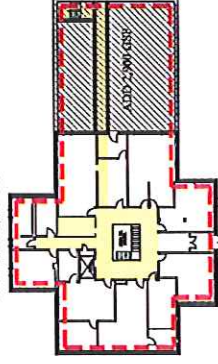
3 FIRST FLOOR PLAN - NOTED



RESERVE OR SELL

1 FIRST FLOOR PLAN - 3,720 SF

RECONFG. 6,465 GSF

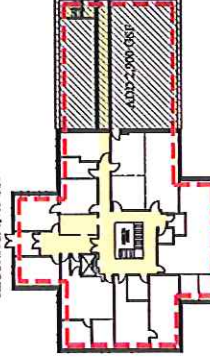


ADD 2,900 GSF

MUNICIPAL OFFICES: 9,365 GSF

2 SECOND FLOOR PLAN

RECONFG. 6,465 GSF



ADD 2,900 GSF

MUNICIPAL OFFICES: 9,365 GSF

1 FIRST FLOOR PLAN

